

# Whittwood Town Center



## Specific Plan

Approved: September 30, 2003

Amended: October 11, 2005

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Amended: July 24, 2012



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# Whittwood Town Center

*A Mixed-Use Urban Village*

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**EPTDESIGN**



As Amended by Ordinance No. 2861 (October 11, 2005)  
As Amended by Ordinance No. 2884 (January 9, 2007)  
As Amended by Ordinance No. 2990 (July 24, 2012)

## Whittwood Town Center - Vision Statement

In conceiving a plan for the implementation of a new WHITTWOOD TOWN CENTER, significant efforts were undertaken to create an exciting, redeveloped shopping experience in the context of an evolving urban “Village.” Great care was taken to integrate existing retail, commercial, and service uses with new, vibrant restaurants, shops, services, and housing opportunities.

The WHITTWOOD TOWN CENTER Specific Plan accepts certain given opportunities and constraints provided by the locations, sizes, and/or uses of structures that will remain on site and then establishes a framework for implementation of an urban “Village” as the Town Center grows and matures.

Each of the five “Districts” within WHITTWOOD TOWN CENTER creates a quilt of discrete or distinct types of retail uses, services, dining opportunities, and housing that, when woven together, establish an overall “Village” experience. The districts' distinctions are heightened by individualized development standards, design guidelines, landscape treatments, plant palettes, and architectural color schemes. They are then

unified as a cohesive urban “Village” through a restructured internal circulation system that focuses on establishing a sense of place and facilitates convenient, safe vehicular and pedestrian access.

This vision for a revitalized WHITTWOOD TOWN CENTER is further implemented through a new pedestrian circulation system that focuses on providing shoppers, users, and residents clear, safe and meaningful opportunities to enjoy a new urban experience. This goal is implemented through the creation of a Village Green, Festival Paseo, and walkways that provide clear paths to uses, opportunities for leisurely strolls or low-impact exercise, and invitations to “people places” or “focal nodes” that feature street furnishings, plantings, plazas, and appropriate settings for dining, reading, relaxing, enjoying formal musical or drama presentations, viewing sculptures, or participating in civic activities.

This Specific Plan serves as the primary entitlement tool for establishing the standards and guidelines that will implement this vision for a new WHITTWOOD TOWN CENTER for the City of Whittier.





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**A. MASTER SIGN PROGRAM**

## I. INTRODUCTION

### A. EXECUTIVE SUMMARY

#### 1. PURPOSE

This Specific Plan document has been prepared as background information for the City of Whittier to facilitate processing and approval of the WHITTWOOD TOWN CENTER redevelopment and its discretionary approvals. The WHITTWOOD TOWN CENTER Specific Plan provides detailed text and exhibits which describe the mixed-use, residential, commercial-retail uses, landscaping amenities, and road improvements that are envisioned to occur within the project. Infrastructure and public services are planned to accommodate the build-out requirements of WHITTWOOD TOWN CENTER, ensuring that the City's standards for orderly growth are implemented. Design guidelines and development standards contained within this Specific Plan will guide architecture and landscape design to create a cohesive project identity. In-depth planning and detailed analyses, including site design, architecture, landscape architecture and signage, have been undertaken to ensure that the project's design standards are maintained throughout the development. An Environmental Impact Report (EIR) will be prepared as a companion document to this Specific Plan, which will provide California Environmental Quality Act (CEQA) review for approval of the WHITTWOOD TOWN CENTER Specific Plan. This Specific Plan document will guide the build-out of WHITTWOOD TOWN CENTER in a manner which is consistent with City and State policies and standards and assures that the project will be developed in a coordinated manner.

#### a. Specific Plan Format

The WHITTWOOD TOWN CENTER Specific Plan has been prepared pursuant to the provisions of California Government Code Section 65450, which grants local government agencies the authority to prepare

specific plans of development for any area covered by a General Plan, for the purpose of establishing systematic methods of implementation of the agency's General Plan. A General Plan does not show local streets, individual parcels, or specific land uses. A Specific Plan, on-the-other-hand, is specific in nature as compared to a General Plan. It is designed to address site specific issues such as building setbacks and visual appearance, as well as project-wide concerns such as circulation and provisions for utilities. While a General Plan examines an entire City or County, a Specific Plan concentrates on the individual development issues of a region or particular project. The Whittier General Plan has established objectives which mandate the preparation of an individual Specific Plan in order to ensure that new development meet basic standards for environmental safety, infrastructure, and site planning while providing provisions for the maintenance of aesthetic quality and cultural identity.

California Government Code Sections 65450 through 65454 establish the authority to adopt a Specific Plan, identify the required contents of a Specific Plan, and mandate consistency with the General Plan. According to Section 65450, a Specific Plan shall include a text and a diagram or diagrams which specify all of the following detail:

1. The distribution, location, and extent of the uses of land, including open space, within the area covered by the plan.
2. The proposed distribution, location, extent, and intensity of major components of public and private

transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the plan.

3. Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable.
4. A program of implementation measures including regulations, programs, public works projects and financing measures necessary to carry out items (1), (2), and (3) above.

In response to government requirements, this Specific Plan has been prepared to provide the essential link between the policies of the Whittier General Plan and actual development in the project area. By functioning as a regulatory document, the WHITTWOOD TOWN CENTER Specific Plan provides a means of implementing and detailing the City of Whittier's General Plan. In this regard, all future development plans or other similar entitlements shall be consistent with regulations set forth in this document and with all applicable City regulations.

In addition to the WHITTWOOD TOWN CENTER Specific Plan, an Environmental Impact Report (EIR) will be prepared and certified under the authority of the City of Whittier and in compliance with California Environmental Quality Act (CEQA) guidelines. The EIR is intended to serve as the project-wide Master Environmental Document for the WHITTWOOD TOWN CENTER Specific Plan and all subsequent development projects undertaken pursuant to and within the Specific Plan boundaries. Furthermore, the EIR is an informational document designed to provide decision-makers and members of the general public with a full understanding of the potential environmental effects of the development proposal. Together, the Specific Plan and EIR provide a

path to properly redevelop WHITTWOOD TOWN CENTER, taking into account all local goals, objectives and environmental considerations.

## b. Discretionary Actions and Approvals

Concurrent with the filing of this Specific Plan and companion Environmental Impact Report, the project applicant also is applying for a General Plan Amendment, Change of Zone, and a Tentative Tract Map. The project applicant seeks to amend the Southeast Area Land Use Plan Map to allow for the proposed residential and commercial-retail uses within the WHITTWOOD TOWN CENTER redevelopment project. Approval of the Change of Zone from *General Commercial* to *Specific Plan* would allow for the development of uses consistent with this Specific Plan. The companion Environmental Impact Report (EIR) discusses the impact of the development of the proposed Specific Plan area. Subsequent discretionary actions will include approvals of individual tentative maps.

The City of Whittier is the Lead Agency for the WHITTWOOD TOWN CENTER Specific Plan, under whose authority this Specific Plan and accompanying EIR have been prepared. These two documents will be used by the following public agencies in connection with the following decisions:

### 1. City of Whittier Planning Commission

- Recommendation to the Whittier City Council as to certification of the WHITTWOOD TOWN CENTER EIR.
- Recommendation to the City Council regarding the adoption of the General Plan Amendment (GPA) by a resolution to change the land use designation of the WHITTWOOD TOWN CENTER property from General Commercial to Specific Plan.

- Recommendation to the City Council regarding the adoption of the Change of Zone by Ordinance to change the zoning designation of the WHITTWOOD TOWN CENTER property from General Commercial (C-2) to Specific Plan (SP).
- Recommendation to the City Council regarding the adoption of the WHITTWOOD TOWN CENTER Specific Plan by resolution.
- Recommendation to the City Council as to approval of a series of Tentative Tract Maps implementing the WHITTWOOD TOWN CENTER Specific Plan.

## 2. Whittier City Council

- Certification of the WHITTWOOD TOWN CENTER EIR.
- Adoption by resolution of the General Plan Amendment to change the land use designation of the WHITTWOOD TOWN CENTER property from General Commercial to Specific Plan.
- Approval by Ordinance of the Change of Zone to rezone the property as Specific Plan (SP).
- Adoption by resolution of the WHITTWOOD TOWN CENTER Specific Plan.
- Adoption by resolution of subsequent Tentative Tract Maps implementing the WHITTWOOD TOWN CENTER Specific Plan.

Additionally, State law requires that all EIRs be reviewed by trustee and responsible agencies. A Trustee Agency is defined in Section 15386 of

the CEQA Guidelines as “a state agency having jurisdiction by law over natural resources affected by a project which are held in trust for the people of the State of California.” Per Section 15381 of the CEQA Guidelines, the term Responsible Agency includes “all public agencies other than the Lead Agency which have discretionary approval power over the project.” Accordingly, the WHITTWOOD TOWN CENTER EIR shall be circulated to and reviewed by all appropriate trustee and responsible agencies prior to its certification by the City of Whittier and ultimate project approval.

## 2. PROJECT SUMMARY

The 66.4-acre WHITTWOOD TOWN CENTER redevelopment project is envisioned as a mixed-use center, integrating residential, commercial-retail, landscaping, and circulation improvements within the City of Whittier. WHITTWOOD TOWN CENTER is anticipated to be developed with up to 150 high-density residential units in conjunction with up to 900,000 square feet of mixed-uses integrating various commercial-retail, restaurants, and service type uses. The proposed land uses for WHITTWOOD TOWN CENTER are envisioned to enhance the City of Whittier through a strong design theme that creates a unique project identity and builds community character.

## 3. PROJECT GOALS

The WHITTWOOD TOWN CENTER redevelopment project is a mixed-use, urban development that is consistent with the City’s desire to revitalize the commercial corridor and landscape treatments on Whittier Boulevard, while creating a sense of place and a central activity focus. In addition, the project site provides for high-density residential uses within easy walking distance to the centrally located town center, retail stores, restaurants, and other uses. Thus, the project would provide employment, shopping, and housing for the Whittier community, and meet the goal of providing a pedestrian-oriented urban “Village” within and immediately adjacent to the site.

More specifically, the objectives and goals of the WHITTWOOD TOWN CENTER redevelopment project are to create:

- A mixed-use development that provides residents and visitors the opportunity to experience the flavor, culture, and history of the Whittier community in an urbanized setting.
- A pedestrian-oriented environment where all users have the opportunity to experience an environment less reliant on and less impacted by the automobile.
- A broad based “activity center” connecting shopping, dining, and residential areas within the town center and walkways.
- A people-oriented community with plazas and public spaces where people can freely and easily congregate and interact with one another.
- A mixed-use development that is consistent with the Whittier General Plan, Whittier Development Code, and Whittier Boulevard Commercial Corridor Revitalization Plan.
- A new urban “Village” environment that incorporates the City’s theme of preserving the past with the current and future needs of the community.
- A development that combines landscape and urban design elements to lessen the visual impact of parking lots and help create the urban edge that the City desires.
- A conveniently accessible location for residents of the City of Whittier to visit, shop, dine, relax, and interact.

- A project that enhances the original character of the region by embracing compatible architectural style elements that have historical precedence in Southern California.

## B. PLANNING CONTEXT

### 1. PROJECT SETTING AND LOCATION

The 66.4-acre WHITTWOOD TOWN CENTER redevelopment project is centrally located in the City of Whittier, approximately six miles north of the City of Santa Fe Springs, twelve miles south of the City of Los Angeles, six miles east of the City of Pico Rivera, and four miles west of the City of La Habra and La Habra Heights (see Figure 1, *Regional Map*). The site is situated east of the Interstate 5 (I-5) and Interstate 605 (I-605), and south of Interstate 60 (I-60), in an incorporated section of Los Angeles County. The property is bounded to the north by Whittier Boulevard, to the south by existing residences and Starbuck Street, to the east by Santa Gertrudes Avenue, and to the west by Scott Avenue (see Figure 2, *Vicinity Map*).

### 2. EXISTING SITE CONDITIONS

WHITTWOOD TOWN CENTER was built in 1952 and provided the City of Whittier with one of its largest commercial-retail developments. At present, the land is used as a commercial-retail facility and contains a mix of major department stores, restaurant facilities, and smaller retail tenants (see Figure 3, *Aerial Photograph*). Current entitlement also provides for a theatre/movie complex which was developed but is no longer in operation. The existing WHITTWOOD TOWN CENTER has experienced difficulty in retaining retail tenants and consequently, numerous businesses have either closed or relocated. As a result, the City of Whittier has identified the redevelopment of WHITTWOOD TOWN CENTER as an integral part of its comprehensive planning and revitalization efforts for the Whittier Boulevard commercial corridor.

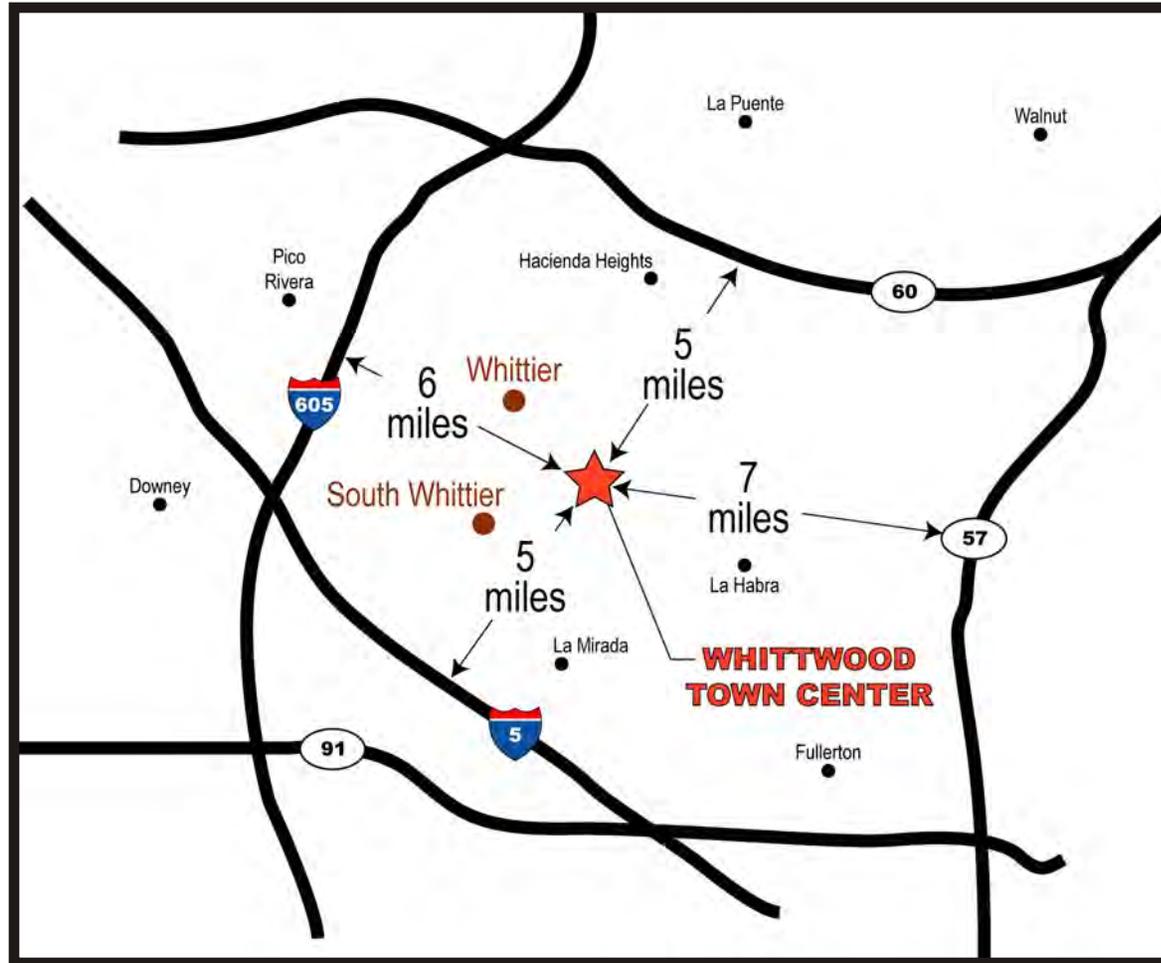


Figure 1  
**Regional Map**

 not to scale

Source: Perkowitz + Ruth Architects



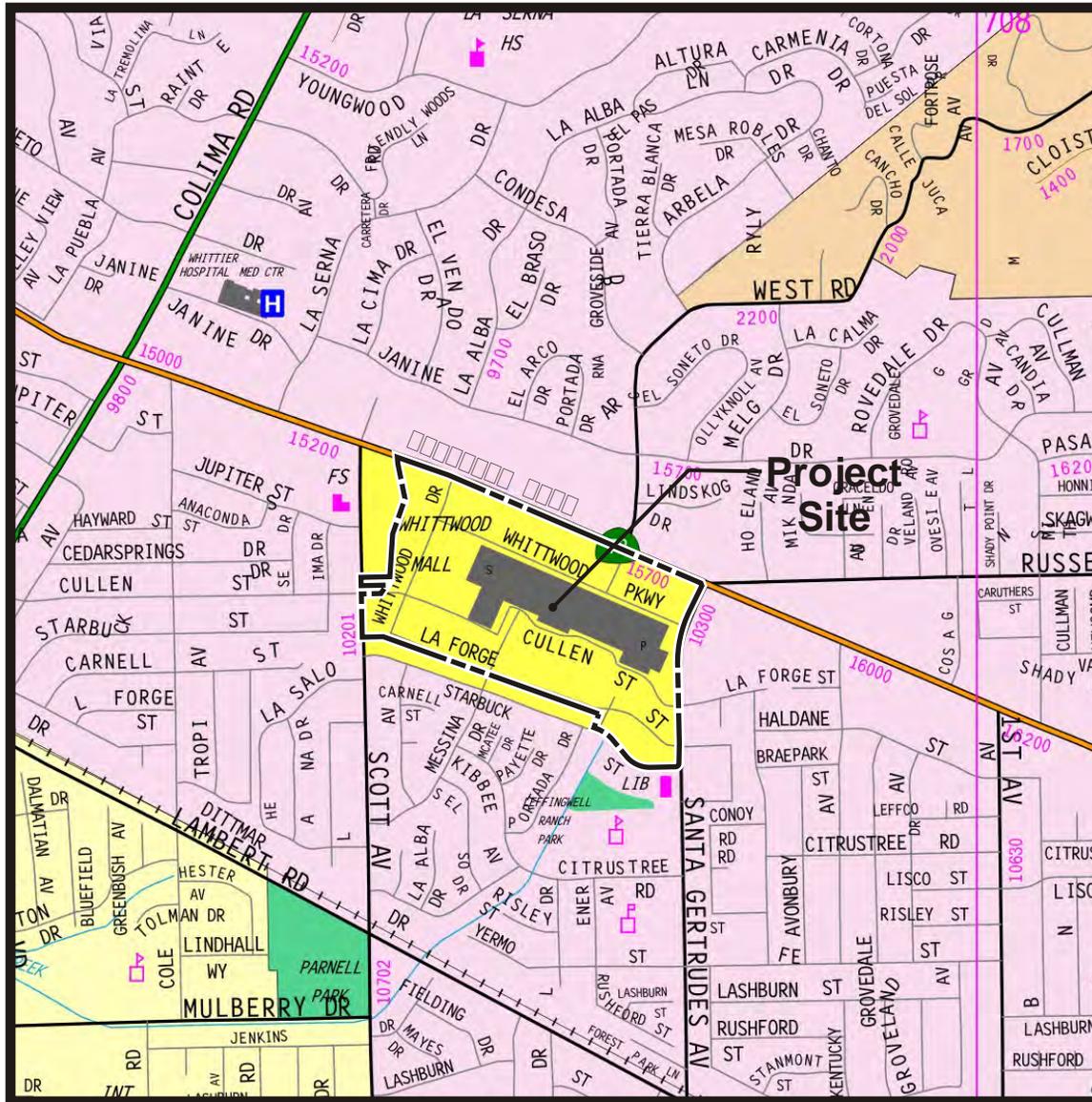
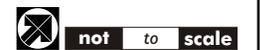


Figure 2  
**Vicinity Map**



Source: Thomas Brothers Map - Los Angeles, Orange County 2000



# Whittwood Town Center



Project Site

Figure 3

# Aerial Photograph



Source: Eagle Aerial (May 2002)



## a. Physical Setting

The majority of the project site is flat with little topographic variation, generally slopes in a southerly direction, and ranges in elevation from 160 to 250 feet above mean sea level (see Figure 4, *Topographic Map*). The project site does not have many distinguishing geologic formations or topographic features due to its relative flatness. Highest elevations on-site generally occur in those areas immediately adjacent to Whittier Boulevard, sloping approximately 20 feet to the southerly property line. Proposed development of the site will generally maintain the current topography of the site. Grading will be limited to excavation for foundations and associated infrastructure and will not result in any substantial alteration of the site's topography or geologic features.

Soils that underlie the project site and throughout the City of Whittier primarily consist of alluvial soils belonging to the Yolo Association. These soils are generally well drained, have low soil permeability, and possess high inherent fertility. The project site is paved and covered with impervious surfaces (roadways, parking areas, and buildings) and no natural drainage or riparian areas remain within the site because of past development. No streams, rivers, or surface water resources are located within the project area, which results in very low wildlife activity. Because the project site in its entirety and surrounding parcels are developed, no impact on natural open space, sensitive habitat, or expansive soils will occur as a result of the proposed redevelopment.

WHITTWOOD TOWN CENTER is located in a seismically active Southern California region. Based on information from the California Department of Conservation, Division of Mines and Geology, there are no active faults crossing the project site. The San Andreas, Whittier, and Sierra Madre fault zones are three major active faults near the planning area. The nearest active fault, the Whittier Fault, is located approximately 1 mile to the northeast of the project site. The Sierra Madre and San Andreas Faults are located 21 and 37 miles to the north of the City of Whittier, respectively.

## b. On-Site Structures to Remain

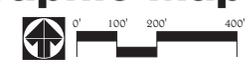
The proposed redevelopment plan created for WHITTWOOD TOWN CENTER will employ a mix of new development in addition to several existing structures to create a fully integrated and cohesive project. The redevelopment of WHITTWOOD TOWN CENTER will retain a substantial portion of the existing businesses, including its three major anchor tenants – J.C. Penney, Sears, and Mervyn's (see Figure 5, *Existing and Proposed Structures*). In addition, many of the smaller outlying pads adjacent to Whittier Boulevard, Santa Gertrudes Avenue, and Scott Avenue also will remain, which include a Vons grocery store, post office, banks, retail stores, and restaurants. The majority of new development is concentrated in the southerly portion of the site, south of the existing pedestrian enclosed mall area and associated surface parking, which will be demolished. Smaller outlying commercial-retail pads also will be developed along Whittier Boulevard in addition to a new residential development in the southwesterly portion of the site. A single-family residence is located adjacent to the southern entrance to the site at Starbuck Street and will not be modified with implementation of the WHITTWOOD TOWN CENTER Specific Plan.

## 3. SURROUNDING LAND USES AND DEVELOPMENT

WHITTWOOD TOWN CENTER is located in a predominantly developed section of Whittier. The majority of the Whittier Boulevard corridor has been developed over the years with strip commercial uses. Generally, residential land uses have been the dominant form of development within the City of Whittier, with over three-fourths of the residential development devoted to single-family homes. Specifically, land on the north, east, and west of the WHITTWOOD TOWN CENTER site has been developed with commercial-retail, office, and service-type uses along Whittier Boulevard. Land beyond these areas and to the immediate south of the site has been predominantly developed with single-family residences (see Figure 6, *Surrounding Land Uses and Development*).



**Figure 4**  
**Topographic Map**

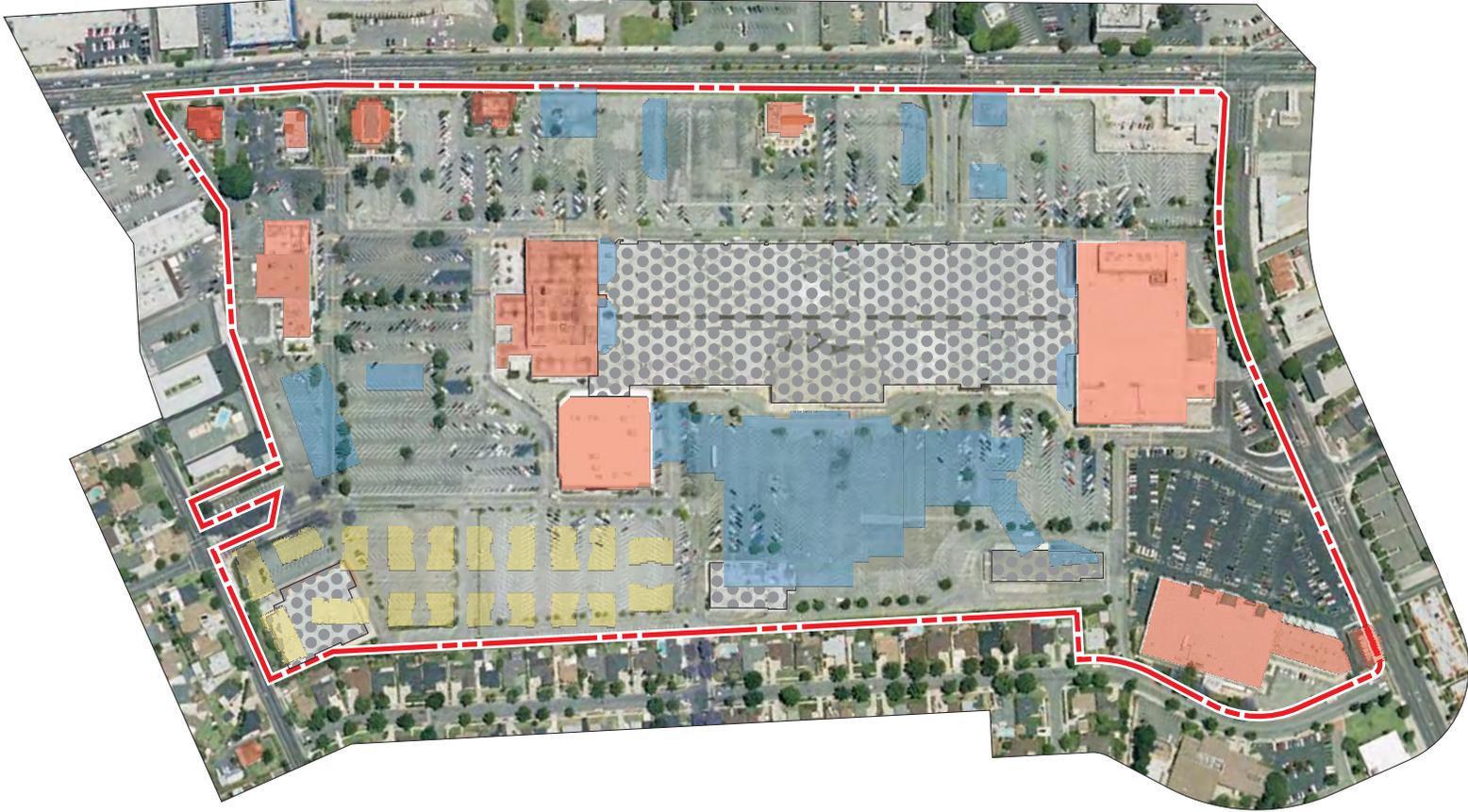


Source: Tait & Associates



**LEGEND**

-  EXISTING BUILDINGS TO REMAIN
-  PROPOSED NEW BUILDINGS
-  PROPOSED RESIDENTIAL
-  EXISTING BUILDINGS TO BE DEMOLISHED



**Figure 5**  
**Existing And Proposed Structures**

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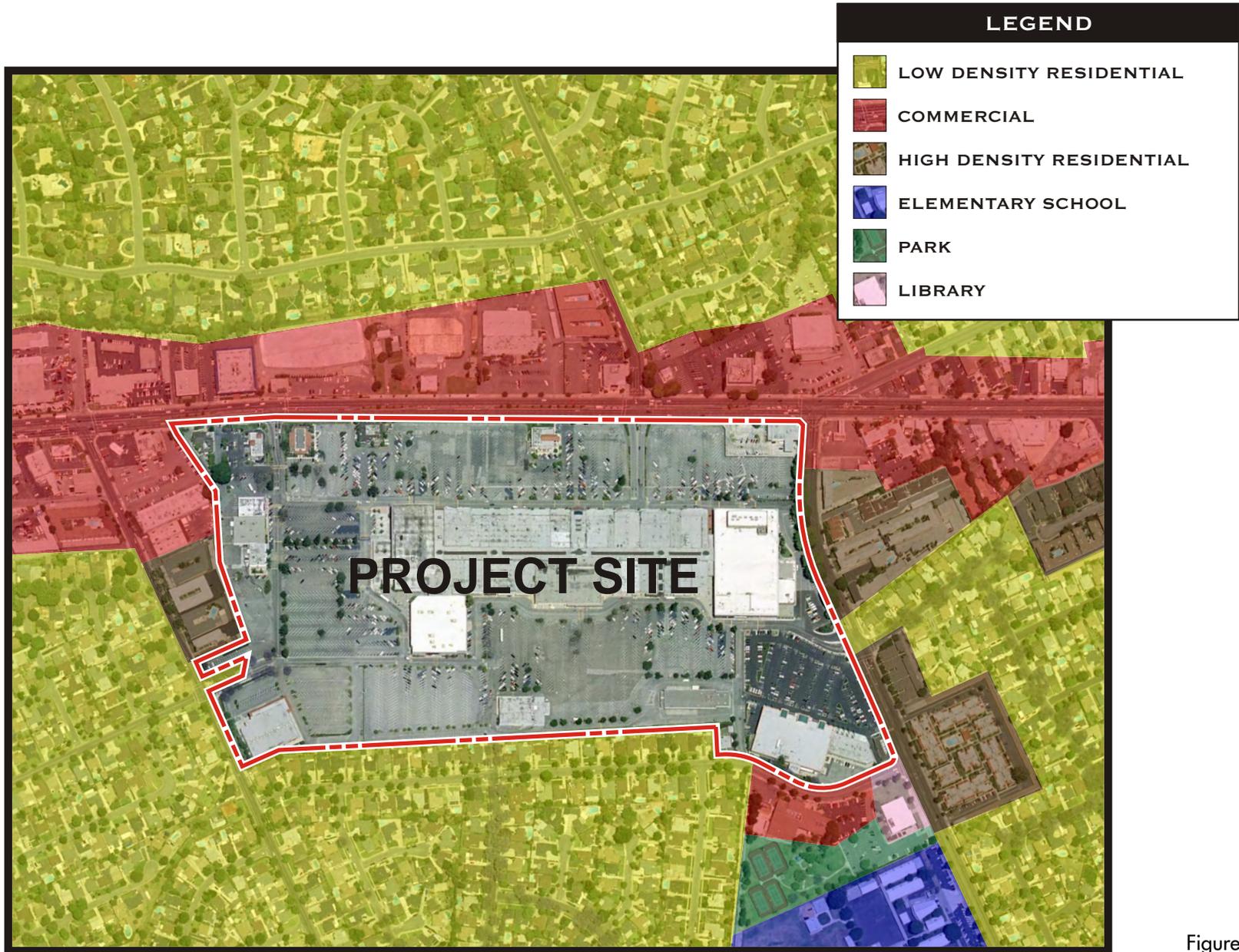


Figure 6  
**Surrounding Land Uses and Development**

 not to scale

## 4. LAND USE DESIGNATIONS, ZONING, AND WHITTIER BOULEVARD REVITALIZATION MASTER PLAN

### a. General Plan Designation

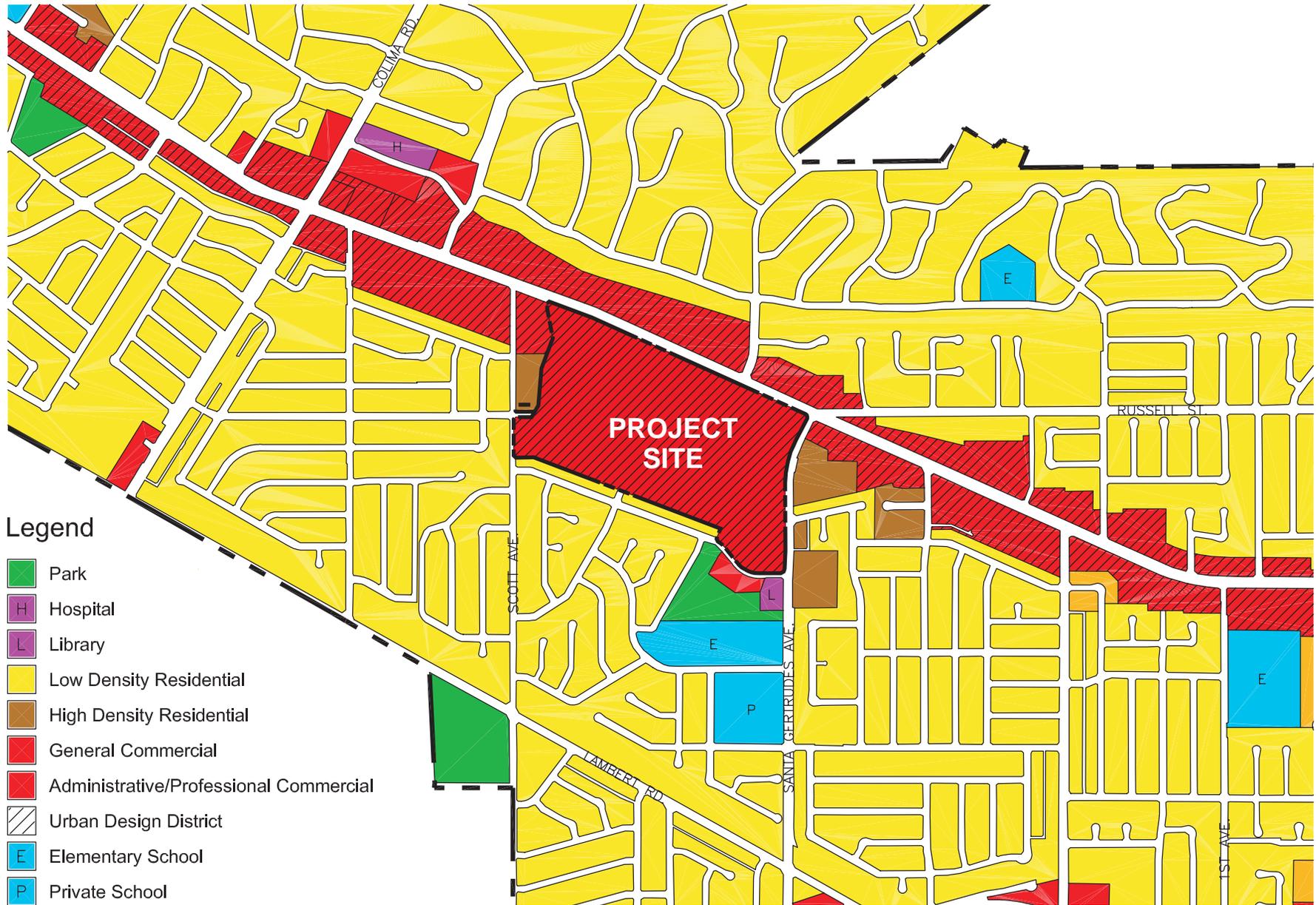
The City of Whittier’s General Plan Southeast Area Land Use Plan map designates the 66.4-acre WHITTWOOD TOWN CENTER site as *General Commercial*, as shown in Figure 7, *General Plan Land Use Designations*. The *General Commercial* designation allows for retail, trade, and service uses, including highway-related commercial uses, shopping centers, and business districts, and high-density residential uses. Approximately 412 acres of the City of Whittier are designated as *General Commercial* and the average floor area ratio (FAR) of developments within these areas is 0.25 to 0.50. WHITTWOOD TOWN CENTER is located within the Whittier Boulevard Urban Design District, which requires implementation of a Specific Plan and design guidelines to be prepared and adopted to provide direction related to architectural design, site planning, signage, and streetscape treatments along Whittier Boulevard. Therefore, a General Plan Amendment (GPA) will be processed concurrently with this Specific Plan to amend the Southeast Area Land Use Plan Map to designate the site as “*Specific Plan*.”

### b. Zoning

The WHITTWOOD TOWN CENTER site is zoned *C-2*, General Commercial, by the City of Whittier. While the *C-2* designation would allow for the proposed mixed-use, commercial-retail, and residential uses envisioned to occur on-site, a Change of Zone (CZ) is required to recognize the WHITTWOOD TOWN CENTER Specific Plan. With adoption of this Specific Plan, the project site’s zoning will be changed from *C-2* to *SP* (Specific Plan). *Development Standards* are contained in Section III of this Specific Plan document.

### c. Whittier Boulevard Revitalization Master Plan

The Whittier Boulevard Revitalization Master Plan is an ongoing comprehensive planning and revitalization effort undertaken by the City of Whittier to upgrade and enhance the Whittier Boulevard commercial corridor. Development along this corridor lacks a strong impression and fails to present a pleasant “front door” image of the community, which has long been recognized as a “commercial strip.” As a result, the Whittier Boulevard Revitalization Master Plan was created with the stated intent to put the best of the City on display on Whittier Boulevard. While the revitalization plan is intended as both a policy and as an implementation document that is structured to guide future development along Whittier Boulevard, the redevelopment of WHITTWOOD TOWN CENTER is excluded and is designated as a “Special District.” Therefore, this Specific Plan serves as the primary entitlement tool for establishing the standards and guidelines that will implement the vision for a new WHITTWOOD TOWN CENTER for the City of Whittier.



**Legend**

- Park
- Hospital
- Library
- Low Density Residential
- High Density Residential
- General Commercial
- Administrative/Professional Commercial
- Urban Design District
- Elementary School
- Private School

**Figure 7**  
**General Plan Land Use Designations**

**not to scale**

Source: City of Whittier





## II. SPECIFIC PLAN PROGRAM ELEMENTS

### A. OVERVIEW

Upon completion, WHITTWOOD TOWN CENTER will contain a high-quality, mixed-use development, primarily composed of up to 900,000 square feet of commercial-retail land uses and up to 150 high-density residential units on 66.4 acres, as depicted in Figure 8, *Specific Plan Land Use Plan*. The provision of residential uses on-site creates an immediate market for retail and service uses, thereby enhancing the potential for establishing a pedestrian-oriented urban “Village” within WHITTWOOD TOWN CENTER. The redevelopment of WHITTWOOD TOWN CENTER will offer convenient walkways, dedicated sidewalks, courts and plazas designed to connect residential and commercial-retail uses and facilitate vehicular and pedestrian movement.

A *Conceptual Site Plan*, Figure 9, has been developed for illustrative purposes only and serves as a depiction of the development concept envisioned for the site. Individual lot design, building footprints, and parking layouts are typical and based on design standards and requirements set forth by the WHITTWOOD TOWN CENTER Specific Plan. Actual development will potentially vary from these conceptual

representations. Review and approval of actual development plans will occur as implementing actions of this Specific Plan. Section V, *Implementation*, details the submittal requirements and process for implementing the WHITTWOOD TOWN CENTER Specific Plan.

It is the intent of this Specific Plan to ensure that the proposed improvements and modifications are accomplished in a logical and timely manner. Specific design elements, including the siting of compatible land uses, selection of complementary architectural design, and implementation of a unified landscape plan, have been conceived and consistently applied in order to assure a varied, fully integrated “Village” concept. A number of important issues were examined and considered during the preparation of this Specific Plan document, including market acceptance, economic viability, environmental sensitivity, and positive aesthetic contribution to the City of Whittier. At the same time, the WHITTWOOD TOWN CENTER conceptual site design reflects a plan that is consistent with applicable City of Whittier ordinances, development standards, and guidelines.

**TABLE 1  
LAND USE STATISTICAL SUMMARY**

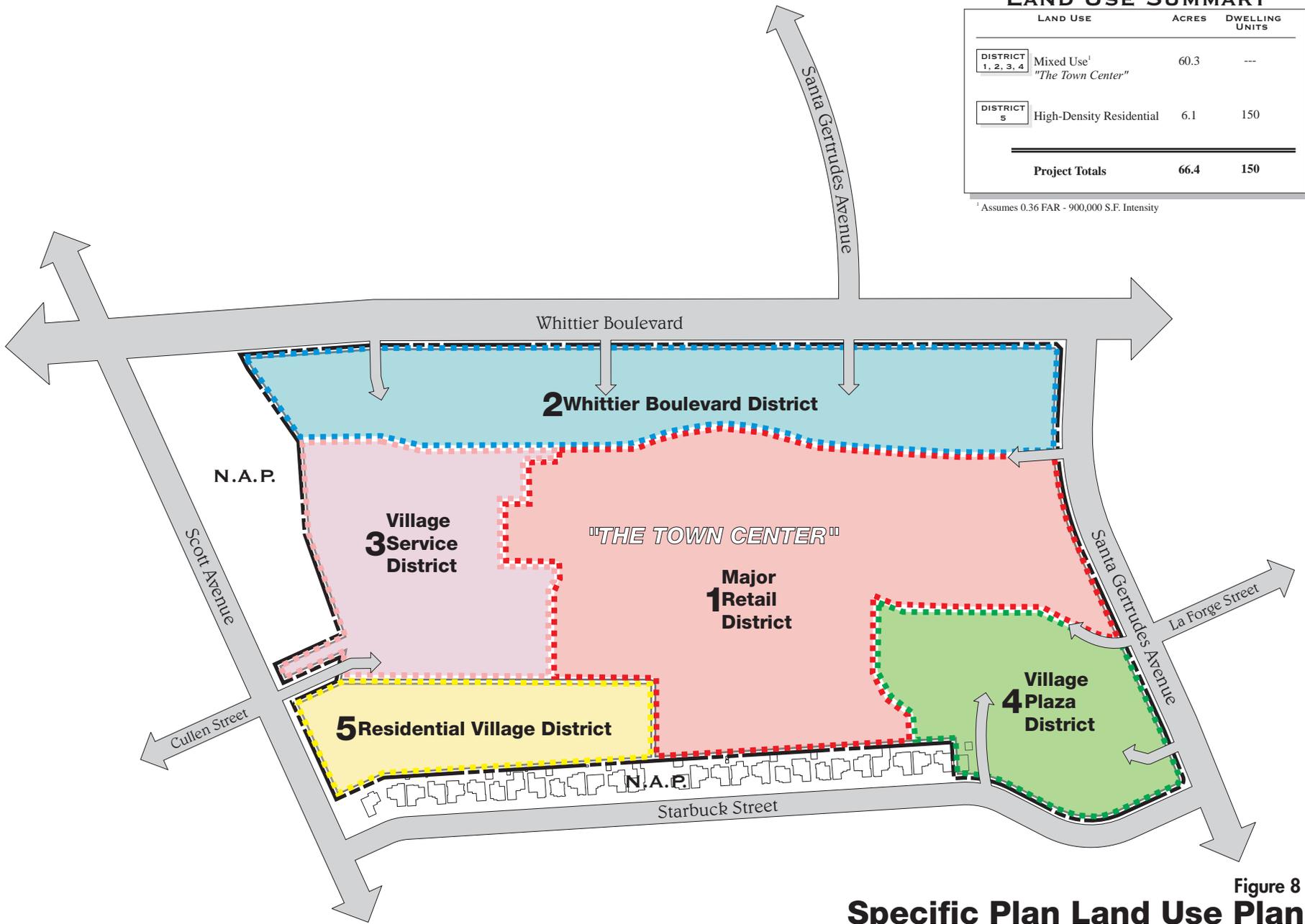
LAND USE	DISTRICT	ACRES	FLOOR AREA (S.F.)	MAXIMUM DWELLING UNITS
Mixed-Use	1,2,3,4	60.3	900,000 <sup>1</sup>	--
High-Density Residential	5	6.1	--	150
<b>TOTAL</b>		<b>66.4</b>	<b>900,000</b>	<b>150</b>

<sup>1</sup> Assumes 0.36 FAR

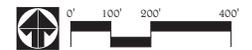
### LAND USE SUMMARY

LAND USE	ACRES	DWELLING UNITS
<b>DISTRICT 1, 2, 3, 4</b> Mixed Use <sup>1</sup> "The Town Center"	60.3	---
<b>DISTRICT 5</b> High-Density Residential	6.1	150
<b>Project Totals</b>	<b>66.4</b>	<b>150</b>

<sup>1</sup> Assumes 0.36 FAR - 900,000 S.F. Intensity

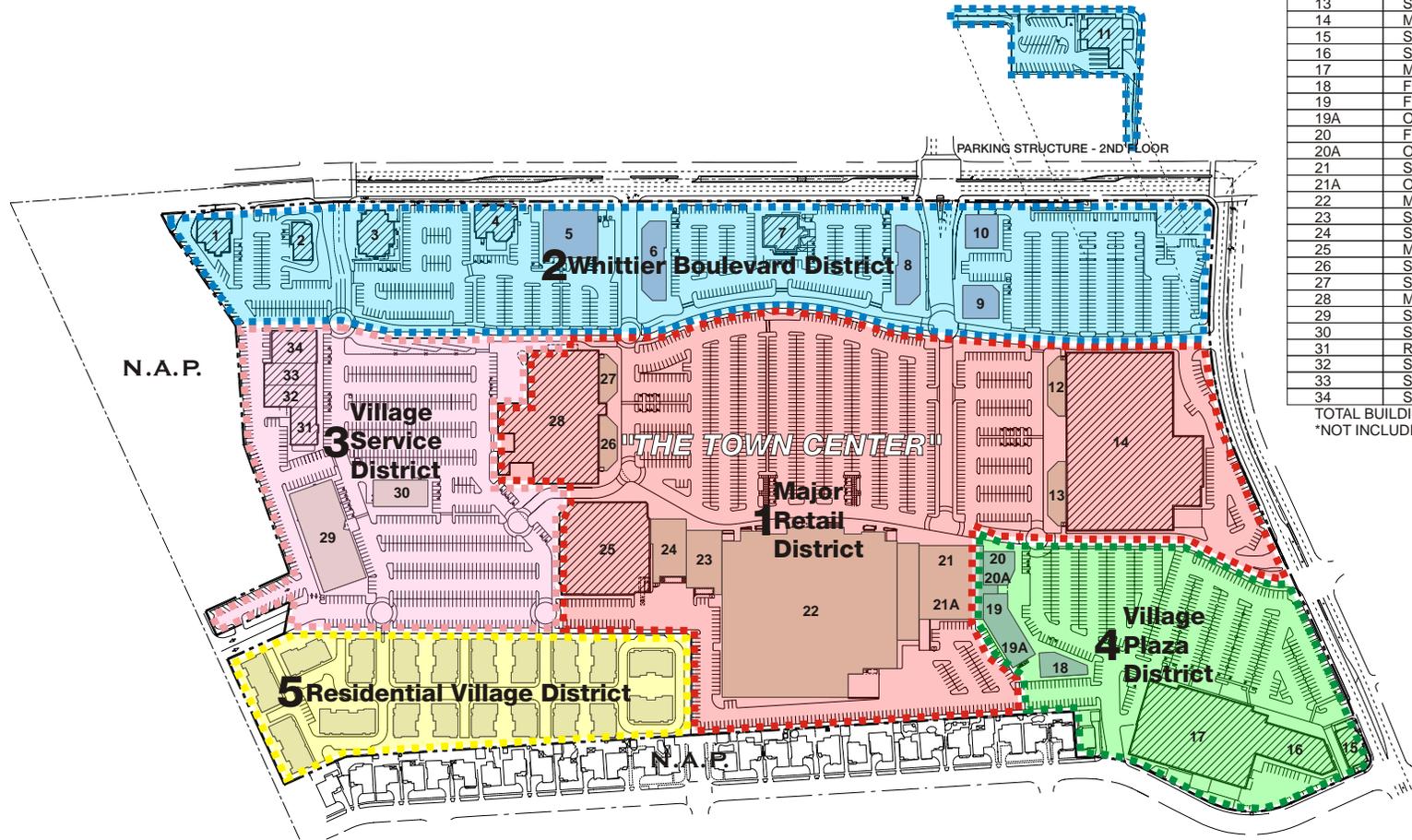


**Figure 8**  
**Specific Plan Land Use Plan**



	TENANT	BUILDING AREA
1	RESTAURANT	3,800 SF
2	RESTAURANT	3,000 SF
3	SERVICE - RETAIL	5,500 SF
4	RESTAURANT	6,700 SF
5	RETAIL	13,357 SF
6	SERVICE - RETAIL	9,300 SF
7	RESTAURANT	6,700 SF
8	SERVICE - RETAIL	9,200 SF
9	SERVICE - RETAIL	6,000 SF
10	RESTAURANT	5,500 SF
11	SERVICE - RETAIL	8,654 SF
12	SHOPS	4,470 SF
13	SHOPS	5,070 SF
14	MAJOR RETAIL	102,468 SF
15	SERVICE - RETAIL	3,720 SF
16	SHOPS	11,666 SF
17	MARKET - GROCERY	51,298 SF
18	FOOD / RETAIL	4,600 SF
19	FOOD / RETAIL	10,000 SF
19A	OFFICE	10,000 SF
20	FOOD / RETAIL	5,000 SF
20A	OFFICE	5,000 SF
21	SUB MAJOR	25,000 SF
21A	OFFICE	25,000 SF
22	MAJOR RETAIL	141,900 SF*
23	SUB MAJOR	10,700 SF
24	SUB MAJOR	10,300 SF
25	MAJOR RETAIL	82,600 SF
26	SHOPS	4,300 SF
27	SHOPS	3,700 SF
28	MAJOR RETAIL	137,985 SF
29	SERVICE - RETAIL	23,921 SF
30	SERVICE - RETAIL	7,500 SF
31	RESTAURANT	5,376 SF
32	SERVICE - RETAIL	6,100 SF
33	SERVICE - RETAIL	6,000 SF
34	SHOPS	7,000 SF

TOTAL BUILDING AREA: 788,385 SF  
 \*NOT INCLUDING 11,338 SF GARDEN - RETAIL CENTER



Notes:

 EXISTING BUILDING TO REMAIN

This is a conceptual site design for illustrative purposes only. Individual building designs are typical and based on requirements established by the WHITTWOOD TOWN CENTER design guidelines and development standards. Actual development may vary.

Source: Perkowitz + Ruth Architects and KTGy Group, Inc.

Figure 9  
**Conceptual Site Plan**



## B. DISTRICTS

Five distinct development areas, identified as “Districts,” implement the planning objectives set forth for WHITTWOOD TOWN CENTER. These five districts arise from a logical organization of uses and planned units of development that will create the urban “Village” envisioned for the project. Collectively, the various districts will generate a unique identity for WHITTWOOD TOWN CENTER through varied architectural and landscape themes and a strong network of vehicular and pedestrian linkages. Districts within WHITTWOOD TOWN CENTER have been devised for optimal integration of uses that facilitate the rejuvenation of the existing commercial-retail center in concert with sound urban development principles and guidelines. Great emphasis is placed on establishing a strong internal pedestrian system and strategic focal points that integrate the distinct districts with each other and adjoining off-site uses.

General development objectives established for each district are set forth below, while specific development standards and guidelines for design implementation are provided in Section III, *Development Standards*, and Section IV, *Design Guidelines*.

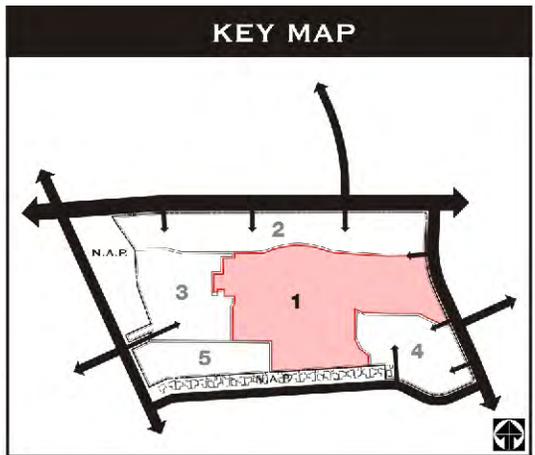
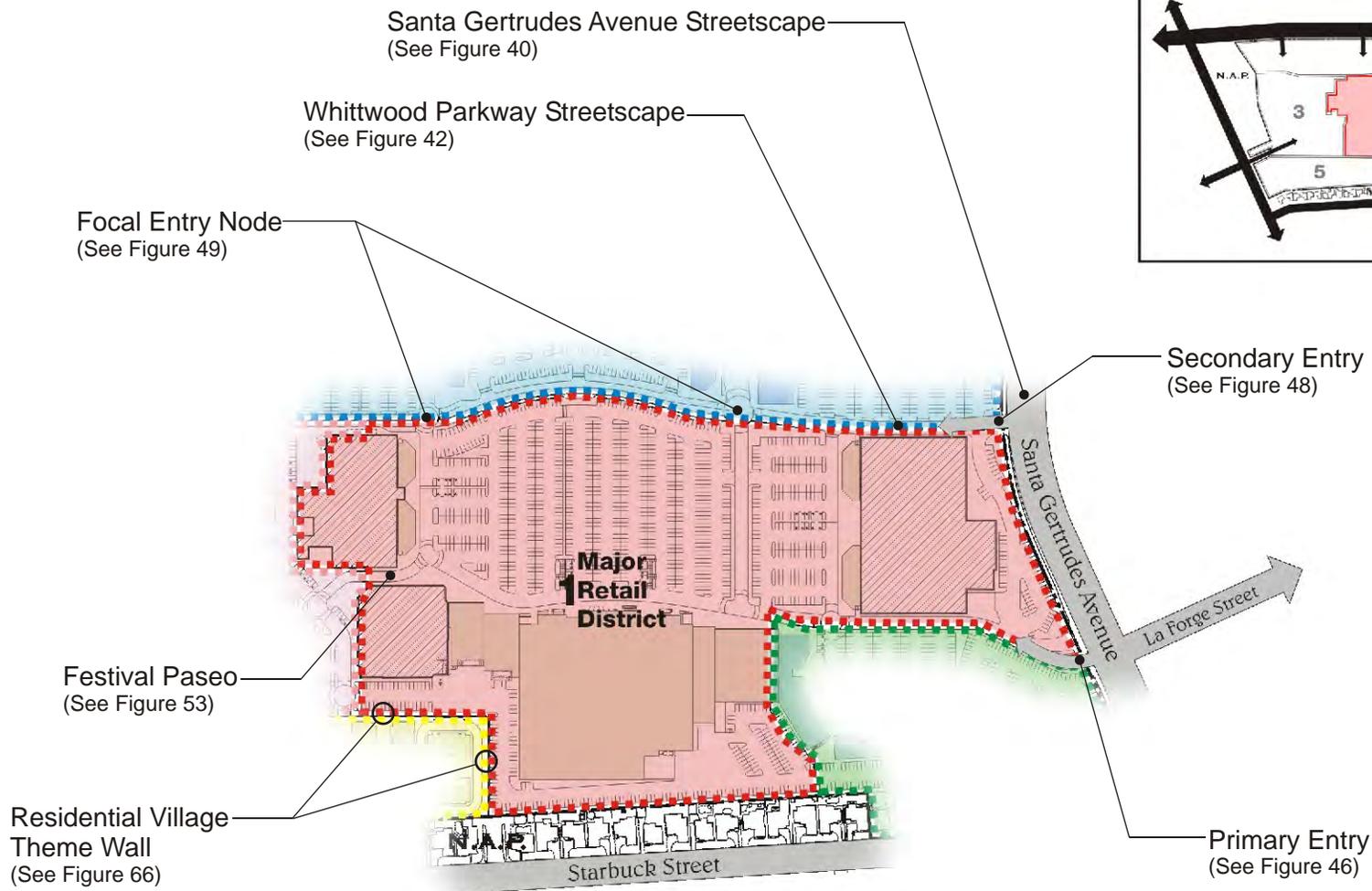
### 1. DISTRICT 1 – MAJOR RETAIL DISTRICT

Located in the center of the site, the *Major Retail District* serves as the visual and retail focal point of WHITTWOOD TOWN CENTER (see Figure 10, *Major Retail District*). This district retains three existing major retail tenants, while providing for the addition of a fourth major retail tenant, as well as smaller shops and/or commercial-retail pads that offer various types of goods and services. Primary access and identification signage for major retail tenants will be located in the *Major Retail District* and will be integrated with adjacent districts through secondary access points. Additionally, a Festival Paseo will be constructed between the existing Sears and Mervyn’s, which will provide a pedestrian scaled corridor with ample shade and seating, outdoor retail opportunities, and enhanced landscape and street furniture that invites

shoppers and visitors to enjoy programmed events within WHITTWOOD TOWN CENTER.

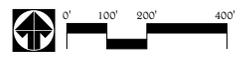
General development standards for the *Major Retail District* are as provided below and on Figure 10:

- a. A roadway landscape treatment, as shown on Figure 40, shall be provided along the project’s frontage with Santa Gertrudes Avenue.
- b. A roadway landscape treatment, as shown on Figure 42, shall be provided along Whittwood Parkway, the project’s major internal east-west circulation element.
- c. A roadway landscape treatment, as shown on Figure 49, shall be provided at the focal entry nodes to the *Major Retail District*.
- d. A primary entry treatment shall be provided at the entrance to the *Major Retail District* and *Village Plaza District* from Scott Avenue, as shown in Figure 45.
- e. A secondary entry treatment shall be provided at the entrance to the *Major Retail District* and *Whittier Boulevard District* from Santa Gertrudes Avenue, as shown in Figure 46.
- f. A Festival Paseo shall be provided between the existing Sears and Mervyns, as shown on Figure 53.
- g. A Village Theme Wall shall be provided between the *Major Retail District* and the *Residential Village District*, as shown in Figure 66.



Notes:  
 This is a conceptual site design for illustrative purposes only. Individual building designs are typical and based on requirements established by the WHITTWOOD TOWN CENTER design guidelines and development standards. Actual development may vary.

Figure 10  
**Major Retail District**



- h. An existing wall and landscape treatment shall be retained along the southern project boundary.
- i. Please refer to Section III for specific *Development Standards* and other related guidelines.
- j. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.

### 2. DISTRICT 2 – WHITTIER BOULEVARD DISTRICT

Immediately adjacent to Whittier Boulevard, the *Whittier Boulevard District* incorporates several existing outlying retail and restaurant pads with a new assortment of freestanding commercial-retail, restaurant, and service uses (see Figure 11, *Whittier Boulevard District*). The *Whittier Boulevard District* will provide residents and visitors of WHITTWOOD TOWN CENTER the opportunity to dine, shop, and relax in an urbanized setting with generous outdoor plazas, event settings, and seating areas. Additionally, a Parkway Plaza will emphasize the central core of this district and has been designed to attract pedestrians along Whittier Boulevard into a more urbanized “Village” environment within WHITTWOOD TOWN CENTER. The *Whittier Boulevard District* will serve as the primary gateway to other districts within the site, will integrate the major internal circulation elements planned for the site, and will promote the pedestrian oriented “Village” concept for the WHITTWOOD TOWN CENTER redevelopment.

General development standards for the *Whittier Boulevard District* are as provided below and on Figure 11:

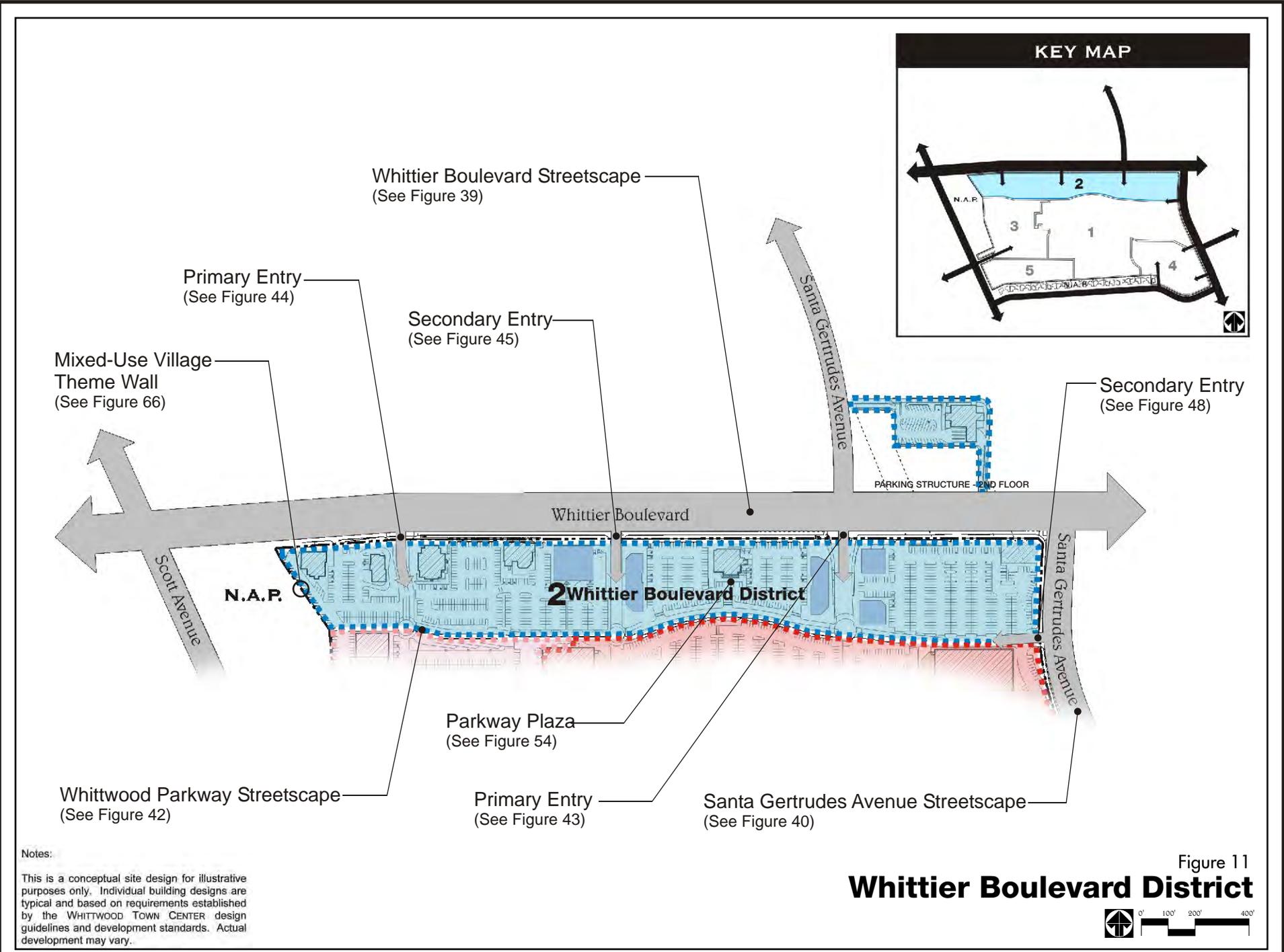
- a. A roadway landscape treatment, as shown in Figures 39 and 40, shall be provided along the project’s frontage with Whittier Boulevard and Santa Gertrudes Avenue.
- b. A roadway landscape treatment, as shown on Figure 42, shall be provided along Whittwood Parkway, the project’s

major internal east-west circulation element.

- c. Two primary entry treatments shall be provided at the entrances occurring at traffic signals on Whittier Boulevard, as shown on Figure 43 and 44.
- d. A secondary entry treatment shall be provided on Whittier Boulevard and Santa Gertrudes Avenue where no traffic signal is present, as shown on Figures 47 and 48.
- e. A Village Theme Wall shall be provided along the western project boundary and the *Whittier Boulevard District* and will serve as a buffer between adjacent commercial uses (see Figure 66).
- f. A Parkway Plaza shall be provided south of the existing Black Angus restaurant, as shown on Figure 54.
- g. Please refer to Section III for specific *Development Standards* and other related guidelines.
- h. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.

### 3. DISTRICT 3 – VILLAGE SERVICE DISTRICT

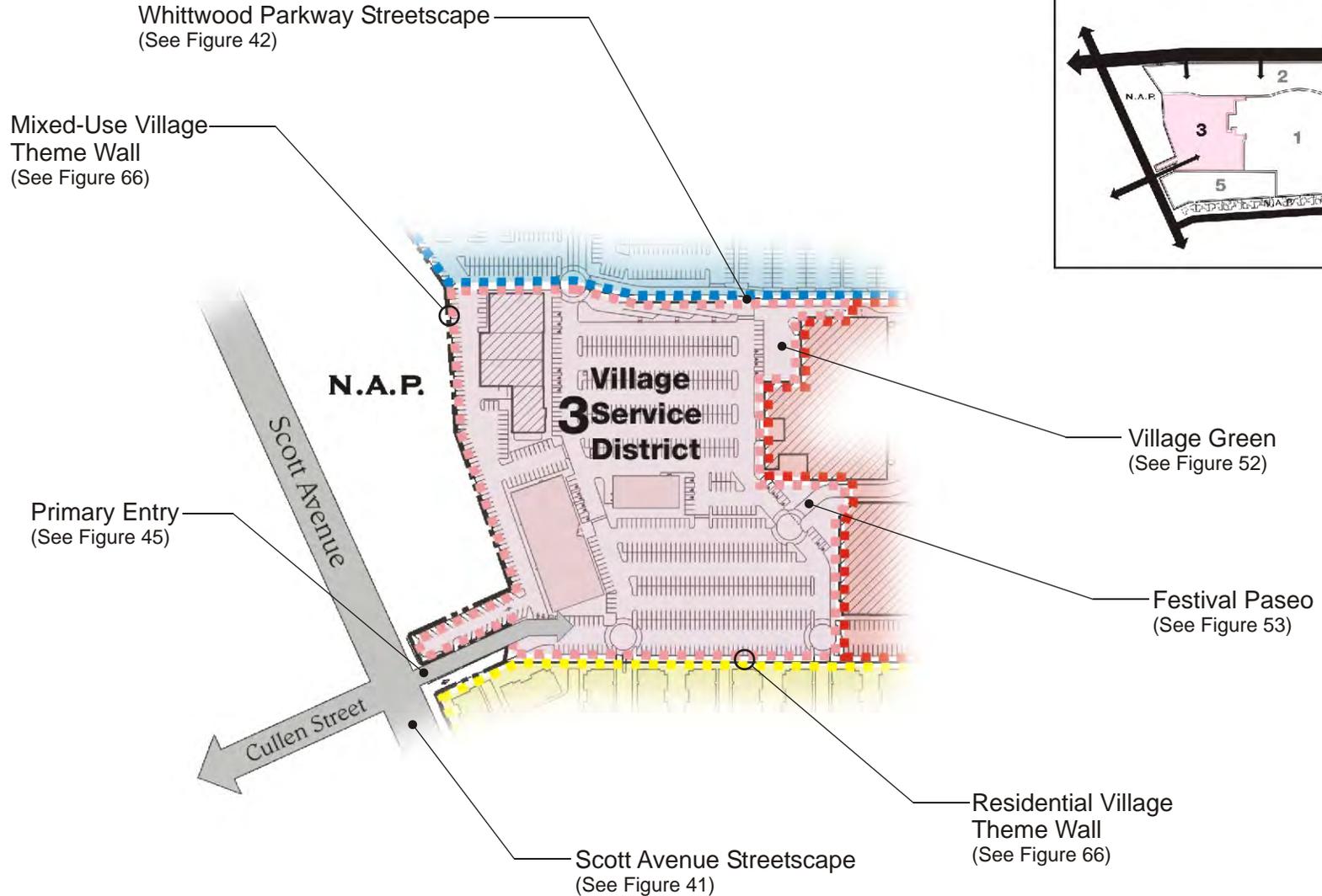
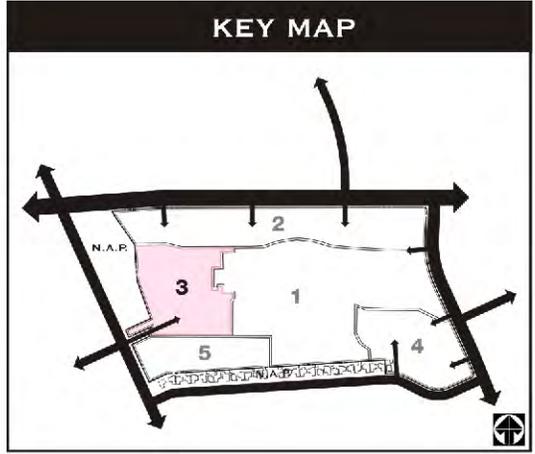
Located adjacent to and immediately north of District 5, the *Village Service District* offers a collection of service-oriented uses, including but not limited to, a post office, health club, medical office, and smaller retail/service operations (see Figure 12, *Village Service District*). Two additional structures will be constructed within this district, including a separate retail/service building as part of the existing Sears. It is intended that a considerable portion of the existing buildings located in this area remain and that the types of uses offered in the *Village Service District* integrate with the townhomes constructed in District 5. A Village Green will serve as a pedestrian focal point and will provide



Notes:  
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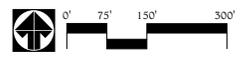
Figure 11  
**Whittier Boulevard District**





Notes:  
 This is a conceptual site design for illustrative purposes only. Individual building designs are typical and based on requirements established by the WHITTWOOD TOWN CENTER design guidelines and development standards. Actual development may vary.

Figure 12  
**Village Service District**



open space within WHITTWOOD TOWN CENTER for people to gather, interact, and relax. A planned Fitness Circuit will provide the opportunity to exercise outdoors and will be located adjacent to the newly added health club. The Village Green and Fitness Circuit elements in addition to the Festival Paseo connection to the *Major Retail District* will allow for further integration of districts within WHITTWOOD TOWN CENTER.

General development standards for the Village Service District are as provided below and on Figure 12:

- a. A roadway landscape treatment, as shown on Figure 41, shall be provided along the project's frontage with Scott Avenue.
- b. A roadway landscape treatment, as shown on Figure 42, shall be provided along Whittwood Parkway, the project's major internal east-west circulation element.
- c. A primary entry treatment shall be provided at the entrance to the *Village Service District* from Scott Avenue, as shown on Figure 45.
- d. A Village Theme Wall shall be provided along the western project boundary and *Village Service District* and will serve as a buffer between adjacent commercial uses (see Figure 66).
- e. A Village Green shall be provided along the northeastern boundary of the *Village Service District*, as shown on Figure 52.
- f. A Festival Paseo shall be provided between the existing Sears and Mervyns, as shown on Figure 53.
- g. A Fitness Circuit shall be provided adjacent to the newly

added health club facility, as shown on Figure 57.

- h. Please refer to Section III for specific *Development Standards* and other related guidelines.
- i. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.

#### 4. DISTRICT 4 – VILLAGE PLAZA DISTRICT

Immediately west of Santa Gertrudes Avenue in the southeast portion of the site, the *Village Plaza District* will add a food court, smaller retail/service operations, public gathering places, and plazas (see Figure 13, *Village Plaza District*). This district will integrate a recently built grocery store, smaller adjacent commercial-retail pad, and associated surface parking. A Marketplace Plaza will provide a connection between the *Major Retail District* and *Village Plaza District* and will include pedestrian-oriented landscape and hardscape design. General development standards for the *Village Plaza District* are as provided below and on Figure 13:

- a. A roadway landscape treatment, as shown on Figure 40 shall be provided along the project's frontage with Santa Gertrudes Avenue.
- b. A primary entry treatment shall be provided at the entrance to the *Village Plaza District* and *Major Retail District* from Santa Gertrudes Avenue, as shown in Figure 46.
- c. Existing secondary entry treatments shall be retained and unimproved at the entrances to the *Village Plaza District* from Santa Gertrudes Avenue and Starbuck Street.
- d. An existing wall and landscape treatment shall be retained along the southern project boundary and will serve as a buffer between existing adjacent residences.



Figure 13, *Village Plaza District*

- e. A Marketplace Plaza shall be provided adjacent to the newly added food court, as shown on Figure 55.
- f. Please refer to Section III for specific *Development Standards* and other related guidelines.
- g. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.

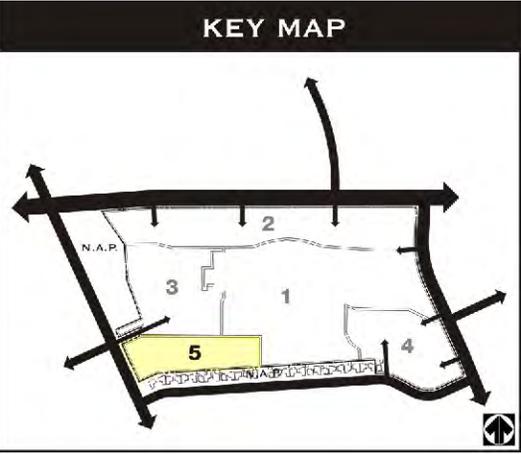
### 5. DISTRICT 5 – RESIDENTIAL VILLAGE DISTRICT

Situated in the southwestern portion of the site, the *Residential Village District* will provide for the development of 150 townhomes on 6.1 acres of high-density residential uses (see Figure 14, *Residential Village District*). The *Residential Village District* will be gated at its entries and will contain private internal streets and community facilities. Interior spaces of these residences shall contain a minimum floor area of 1,400 square feet. Although existing constraints, consisting of continuing uses such as the post office and restaurants, limit the ability to physically integrate these homes into the *Village Service District*, the site plan has been devised so as to limit barriers and encourage pedestrian integration between the residences and the uses included within the *Village Service District*. Therefore, a Village Gateway Trail will be located adjacent to the northern and eastern district boundary and will provide an easy connection to the mixed-use districts for residents of the *Residential Village District* and existing residences to the south.

General development standards for the *Residential Village District* are as provided below and on Figure 14, *Residential Village District*:

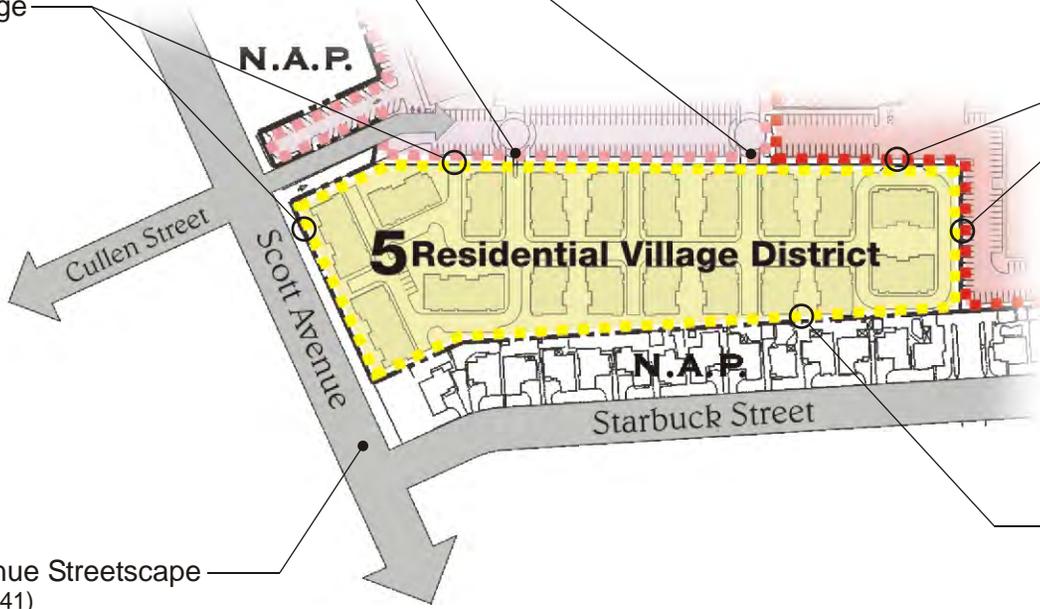
- a. Two entry treatments shall be provided at the entrances to the *Residential Village District* from Village Drive, as shown in Figure 59.
- b. Direct vehicular access from Scott Avenue into the *Residential Village District* is prohibited.

- c. A roadway landscape treatment, as shown in Figure 41, shall be provided along the project's frontage with Scott Avenue.
- d. A roadway landscape treatment, as shown in Figure 63, shall be provided for interior streets within the District.
- e. A Village Theme Wall shall be provided along the common boundary of the *Residential Village District* and adjacent *Village Service* and *Major Retail Districts*, as shown in Figure 66.
- f. A Village Gateway Trail shall be provided adjacent to the northern and eastern district boundary, as shown on Figure 55.
- g. Pedestrian access gates shall be provided to offer connections to the mixed-use districts of the town center, as shown on Figure 60.
- h. A landscape edge treatment shall be provided along the southern *Residential Village District* boundary and will serve as a buffer between existing residential uses to the south (see Figure 62).
- i. Surface parking located in the mixed-use districts immediately adjacent to the *Residential Village District* boundary shall be shared and used by residents and visitors.
- j. Please refer to Section III for specific *Development Standards* and other related guidelines.
- k. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.



Residential Entry Treatment  
(See Figure 59)

Residential Village Theme Wall  
(See Figure 66)



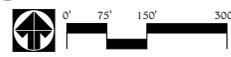
Village Gateway Trail  
(See Figure 56)

Scott Avenue Streetscape  
(See Figure 41)

Southern Edge Treatment  
(See Figure 62)

Notes:  
This is a conceptual site design for illustrative purposes only. Individual building designs are typical and based on requirements established by the WHITTWOOD TOWN CENTER design guidelines and development standards. Actual development may vary.

Figure 14  
**Residential Village District**



## C. CIRCULATION PLAN

### 1. VEHICULAR/PEDESTRIAN CIRCULATION AND ACCESS

WHITTWOOD TOWN CENTER's improvement of existing exterior roadways and revised interior circulation ensure safe, direct, and convenient vehicular and pedestrian access to and through the project's five districts. The creation of a new sign program, enhanced exterior edge streetscape landscaping, dedicated sidewalks, and designated walkways improves functional efficiency for drivers and pedestrians, enhances the aesthetics of the street network, and serves to clearly guide residents, visitors, and shoppers of WHITTWOOD TOWN CENTER. Specific elements of WHITTWOOD TOWN CENTER's external and internal vehicular and pedestrian circulation system are discussed below.

### 2. EXTERNAL VEHICULAR CIRCULATION

The *External Circulation Plan* (Figure 15) illustrates the existing roadway network, which is consistent with the City of Whittier's General Plan Circulation Element. Direct access to WHITTWOOD TOWN CENTER is provided via existing entrances along Whittier Boulevard, Santa Gertrudes Avenue, and Scott Avenue. With the exception of an additional centrally located entrance on Whittier Boulevard and associated project-wide landscaping improvements, no major roadway modifications will be developed by the Specific Plan (i.e. no half-width improvements). To the extent possible, existing improvements on exterior project roadways will be retained. A description of the minor roadway improvements to be implemented as part of the WHITTWOOD TOWN CENTER development is described below. *Roadway Cross Sections* are illustrated in Figure 16.

- **Whittier Boulevard**

Whittier Boulevard, classified as a 6-lane *Major Arterial*, serves as the backbone of Whittier's transportation system by offering adjacent and nearby commercial and industrial

development a major access route to Interstate 605 (I-605). It also acts as the primary east-west distributor to other segments of the City's circulation system. Whittier Boulevard forms the northerly boundary of the project and has a base right-of-way width of 100 feet. This road is designated as a *State Highway* (SR-72) and falls within the jurisdiction of the California Department of Transportation (CalTrans). As a part of the Whittier Boulevard Revitalization Master Plan, the City of Whittier and CalTrans will construct street improvements along Whittier Boulevard, including median installation and pavement resurfacing. Landscaping and parkway improvements along the southern right-of-way of Whittier Boulevard will be constructed as a part of this Specific Plan and will be generally consistent with the design standards set forth in the Whittier Boulevard Revitalization Master Plan, to the extent permitted by CalTrans.

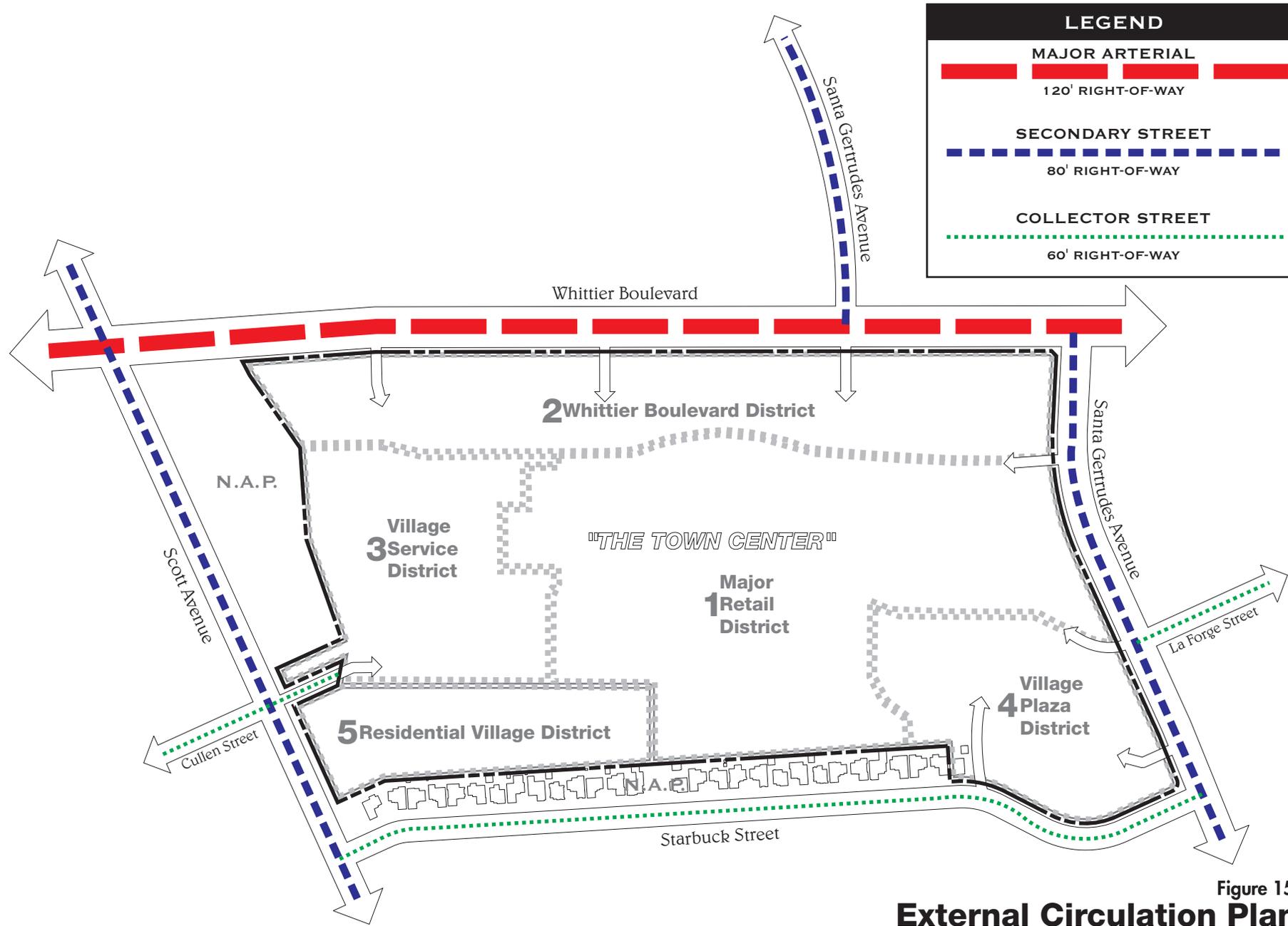
- **Santa Gertrudes Avenue**

Santa Gertrudes Avenue, which forms the eastern boundary of WHITTWOOD TOWN CENTER, is designated as a *Secondary Street* with a base right-of-way width of 80 feet. The project will retain existing improvements on Santa Gertrudes Avenue and will add minor landscape and hardscape treatments along the project's frontage and the western side of the right-of-way.

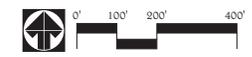
- **Scott Avenue**

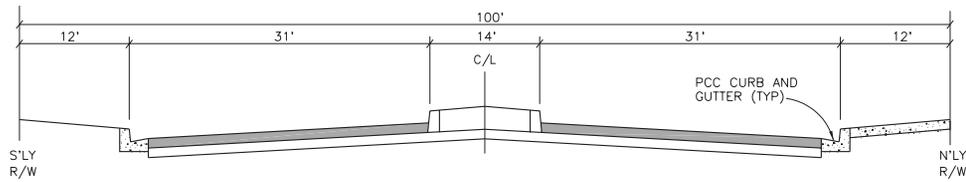
Scott Avenue, classified as a *Secondary Street*, runs in a north-south direction, forms the western project boundary, and has a base right-of-way width of 60 feet. As a part of the WHITTWOOD TOWN CENTER Specific Plan, existing

LEGEND	
	MAJOR ARTERIAL 120' RIGHT-OF-WAY
	SECONDARY STREET 80' RIGHT-OF-WAY
	COLLECTOR STREET 60' RIGHT-OF-WAY

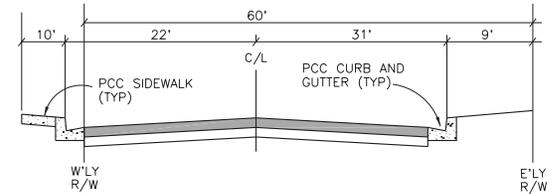


**Figure 15**  
**External Circulation Plan**

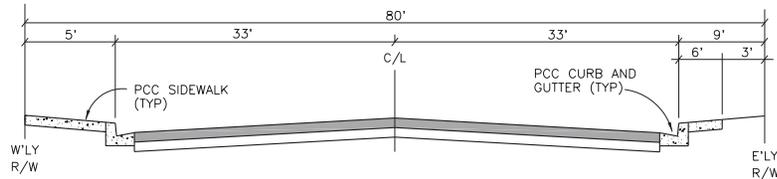




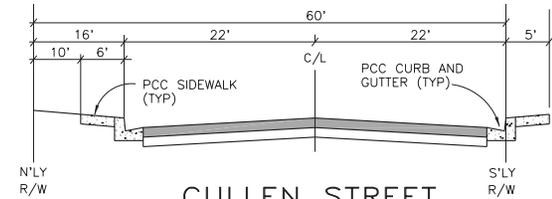
**WHITTIER BOULEVARD**  
NOT TO SCALE



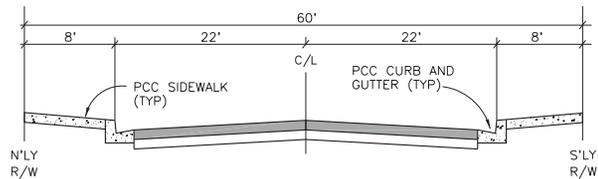
**SCOTT AVENUE**  
NOT TO SCALE



**SANTA GERTRUDES AVENUE**  
NOT TO SCALE



**CULLEN STREET**  
NOT TO SCALE



**STARBUCK STREET**  
NOT TO SCALE

**Figure 16**  
**Roadway Cross Sections**



Source: Tait & Associates



improvements on Scott Avenue will be retained along the project's frontage and landscape and hardscape treatments will be added along the eastern side of the right-of-way.

- **Cullen Street**

Cullen Street provides entry from the western portion of the project site and is classified as a *Collector Street* with a base right-of-way width of 60 feet. As a part of the project, existing improvements on Cullen Street will be retained along the project's frontage and landscape and hardscape treatments will be added east of Scott Avenue.

- **Starbuck Street**

Designated as a *Collector Street*, Starbuck Avenue forms the southern boundary of the project and has a base right-of-way width of 60 feet. No improvements are proposed to this street section as a part of the WHITTWOOD TOWN CENTER redevelopment project.

### 3. INTERNAL VEHICULAR CIRCULATION

As depicted on Figure 17, *Internal Circulation Plan*, WHITTWOOD TOWN CENTER provides convenient vehicular movement and direct access to the various districts within the project. Collectively, the primary and secondary entrances and internal circulation elements offer easily accessible linkages to the five districts planned for WHITTWOOD TOWN CENTER.

Four primary entries are envisioned for WHITTWOOD TOWN CENTER and have been distributed throughout the site, including Whittier Boulevard, Scott Avenue/Cullen Street, and Santa Gertrudes Avenue – all of which are located at traffic signals. Secondary entries occur where traffic signals are absent, including the additional centrally located entrance at Whittier Boulevard, two existing entrances on Santa

Gertrudes Avenue, and a southern entrance located at Starbuck Street.

Five major internal circulation elements have been created to provide access to the various districts within WHITTWOOD TOWN CENTER and are detailed below:

- **Whittwood Parkway**

Major east-west circulation within WHITTWOOD TOWN CENTER will be provided via Whittwood Parkway, which will also serve as the primary connector between the five districts planned on-site. Whittwood Parkway is envisioned as the main “boulevard” within the project site, and intersects three entries off Whittier Boulevard, collecting vehicular and pedestrian traffic and guiding them throughout the site.

- **“Town Center Loop”**

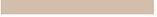
“Town Center Loop” will direct traffic efficiently and conveniently through the *Major Retail District*, while also helping to establish a sense of place within this portion of the project. This internal circulation element also will be heavily traveled, mainly serving the major anchor tenants within the *Major Retail District* and providing a connection to the *Village Plaza District*.

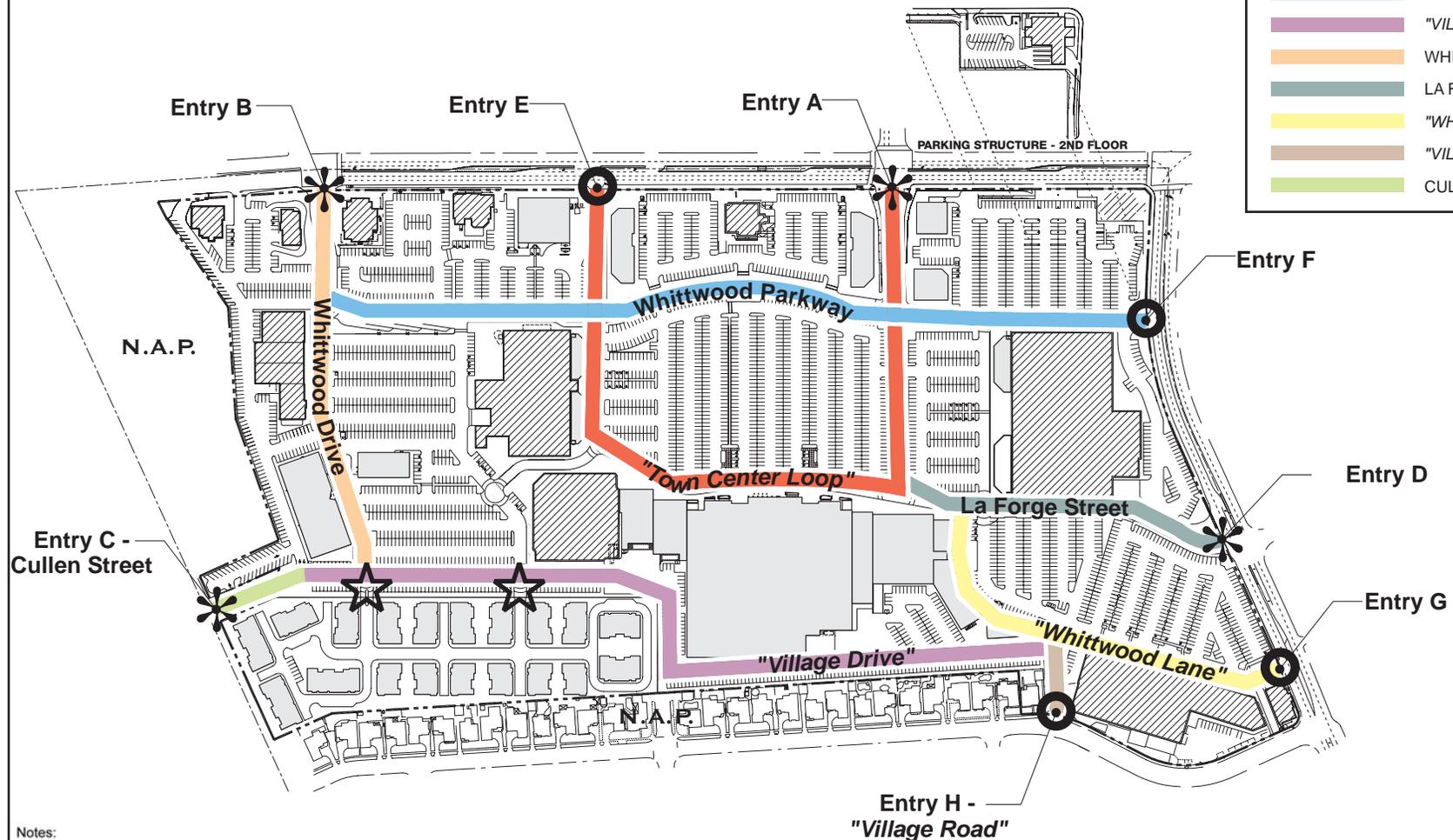
- **“Village Drive”**

“Village Drive” will provide secondary east-west circulation within the site and direct entrance to the residential component of WHITTWOOD TOWN CENTER, the *Residential Village District*.

- **Whittwood Drive**

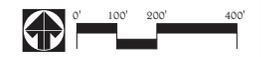
Vehicular movement within the *Village Service District* is

LEGEND	
	PRIMARY ENTRY
	SECONDARY ENTRY
	RESIDENTIAL ENTRY
	"TOWN CENTER LOOP"
	WHITTWOOD PARKWAY
	"VILLAGE DRIVE"
	WHITTWOOD DRIVE
	LA FORGE STREET
	"WHITTWOOD LANE"
	"VILLAGE ROAD"
	CULLEN STREET



Notes:  
 This is a conceptual site design for illustrative purposes only. Individual building designs are typical and based on requirements established by the WHITTWOOD TOWN CENTER design guidelines and development standards. Actual development may vary.

Figure 17  
**Internal Circulation Plan**



achieved via Whittwood Drive, which terminates at one of two entrances to the *Residential Village District*.

- **“Whittwood Lane”**

“Whittwood Lane” will provide a southern entrance to WHITTWOOD TOWN CENTER and will support vehicular movement within the *Village Plaza District* and provides connection to other districts within the project.

A private street system, consistent with the standards set forth in the City of Whittier General Plan Circulation Element will serve District 5, the *Residential Village District*.

#### 4. PEDESTRIAN CIRCULATION

A major goal of the WHITTWOOD TOWN CENTER redevelopment plan is to create a modern urban “Village” that promotes pedestrian movement within the various districts and encourages access from adjacent uses outside the project site. One of the difficulties in creating a more walkable and pedestrian-oriented design is the concern over safety and vehicular circulation. Many of the streets and entries surrounding the project are not safe to walk on because they are designed solely to move motor vehicles in large volumes and at high speeds. As a result, the WHITTWOOD TOWN CENTER redevelopment plan addresses this issue by providing designated pedestrian entries from Whittier Boulevard designed to separate vehicles entering the site from this highly traveled thoroughfare.

A *Pedestrian Circulation Plan*, Figure 18, has been devised to provide the common thread which weaves the various areas of the site into a cohesive town center. Hardscape and landscape treatments will be applied throughout the project site and further the objective of making WHITTWOOD TOWN CENTER a true pedestrian-oriented urban “Village.” Direct pedestrian connections, dedicated sidewalks, and designated walkways between districts have been created to enhance the urban

“Village” concept proposed for WHITTWOOD TOWN CENTER (Figure 19, *Whittier Boulevard Pedestrian Access*). The *Pedestrian Circulation Plan* will generally utilize the internal vehicular circulation elements for secondary pedestrian circulation. Pedestrian movement will be further facilitated by the creation of major pedestrian circulation elements and focal nodes as detailed below.

- The Whittwood Parkway major pedestrian circulation element will provide major east-west movement and will connect the various districts within WHITTWOOD TOWN CENTER. Whittwood Parkway has been designed with the intent of bringing pedestrian traffic along Whittier Boulevard to a parkway within the development and facilitates the creation of an urban “Village” environment.
- The “Town Center Loop” major internal pedestrian circulation element will provide movement within the *Major Retail District* and the *Whittier Boulevard District*.
- The Marketplace Plaza pedestrian focal node will provide movement between the *Major Retail District* and the *Village Plaza District*.
- A second pedestrian focal node, the Festival Paseo, has been created for easy connection between the *Major Retail District* and the *Village Service District* to the west and the *Residential Village* to the south.

Cumulatively, residents and visitors will be able to enjoy the various districts of WHITTWOOD TOWN CENTER through the use of the aforementioned pedestrian circulation elements and will reduce reliance on the automobile, provide improved pedestrian safety, and create a pedestrian-oriented development.

# LEGEND

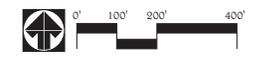
- PEDESTRIAN EDGE CIRCULATION
- MAJOR INTERNAL PEDESTRIAN CIRCULATION
- MAJOR PEDESTRIAN FOCAL NODE

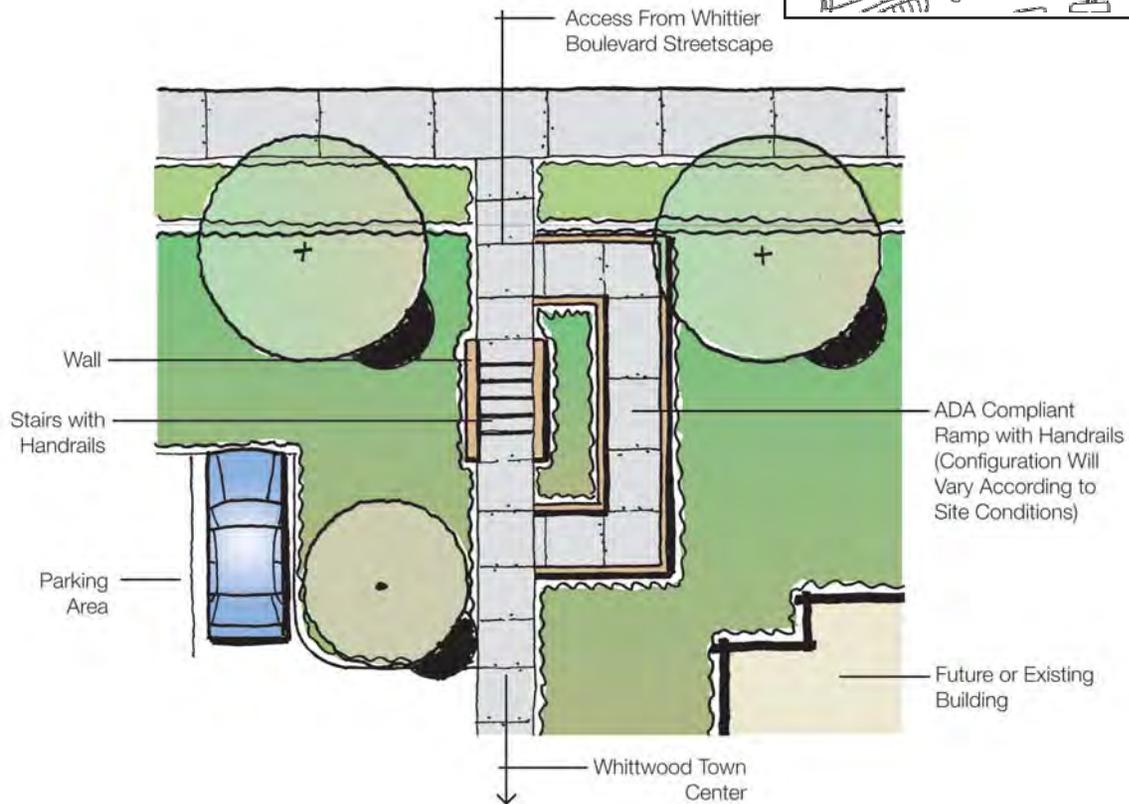
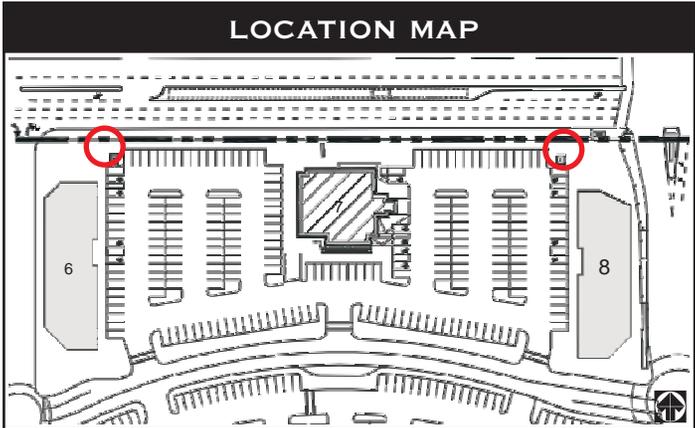


Notes:  
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Source: EPT Design

Figure 18  
**Pedestrian Circulation Plan**





**Figure 19**  
**Whittier Boulevard Pedestrian Access**

**not to scale**

Source: EPT Design

### 5. MASS TRANSIT

A convenient and easily accessible transit system becomes an essential element of an urban “Village” such as WHITTWOOD TOWN CENTER. For this reason, a Transit Layover (bus staging area) with conveniently distributed bus stops has been located within WHITTWOOD TOWN CENTER to facilitate alternative modes of transportation. Transit is expected to be provided by Whittier Transit, the City’s fixed-route transportation system, the Metropolitan Transit Authority (MTA), Norwalk Transit, and Montebello Transit. If a bus shelter is required, the shelter shall reflect the architectural style associated with development of the WHITTWOOD TOWN CENTER.

**D. GRADING PLAN**

The grading plan for WHITTWOOD TOWN CENTER, shown on Figure 20, *Conceptual Grading Plan*, is tailored to the existing topography of the project site. The primary objectives of the grading plan are to: a) establish road grades that are consistent with those of the existing City streets around the site; b) provide stable development pads for new commercial-retail uses and residential structures, and associated parking; and c) balance the cut and fill grading quantities on-site. The existing site topography has an approximate fall of 32 feet across the site in a southwesterly direction. The site ranges from approximately 10 feet to 1 foot below Whittier Boulevard along the northerly edge of the parking lot. The existing site is developed and consists of building structures and asphaltic concrete parking lot. Aside from landscaping, there are no unpaved or impermeable surfaces existing on the site. As a result, soils and geologic conditions present no significant constraints to grading.

The proposed grading of the site will involve the removal of the main portion of the existing mall structure and associated parking surfaces. The site will be graded to provide for the locations of the proposed buildings and layout of the proposed parking fields. The southerly portion of the site will have fills ranging from approximately 10 feet to 2 feet. The northerly portion adjacent to Whittier Boulevard also will receive fill to accommodate the proposed additional outlying pads for the project. The area containing the existing mall structure will be cut by approximately 4 feet to provide for the parking field and proposed buildings. The net earthwork is expected to be in the range of 20,000 cubic yards of import (pure volume not including shrinkage, subsidence or bulking).

Grading for the redevelopment of WHITTWOOD TOWN CENTER will encompass the majority of the site and will require erosion control to prevent sedimentation and pollution discharges to the storm water systems. In addition a Notice of Intent (NOI) will be filed with the State Water Resources Control Board for coverage under the General

Permit and a Storm Water Pollution Prevention Plan (SWPPP) will be prepared for the site. The *Conceptual Grading Plan* has been designed to accommodate drainage and a street system that meets City of Whittier standards for acceptable infrastructure gradients.

**E. PUBLIC FACILITIES AND SERVICES**

**1. WATER PLAN**

Suburban Water Systems will provide water service within WHITTWOOD TOWN CENTER. The site is currently served by a looped system connected from Whittier Boulevard, Santa Gertrudes and Starbuck Street. An additional loop extends from Whittier Boulevard to Scott Avenue along the westerly edge of the site. The existing mains are located within easements to Suburban Water Systems and provide domestic, landscape, and fire service to the existing site and structures.

Portions of the existing water system on-site will be abandoned and new mains constructed to allow for the proposed building layout. Based on the new systems projected flows and the Los Angeles County Fire Departments requirements, a new connection from Whittier Boulevard may be necessary to provide adequate flow and pressure to service the site. Additional mains also will be necessary off of the Scott Avenue main to service the proposed residential components of the project in the southwesterly corner. The project's proposed water system is shown on Figure 21, *Conceptual Water Plan*.

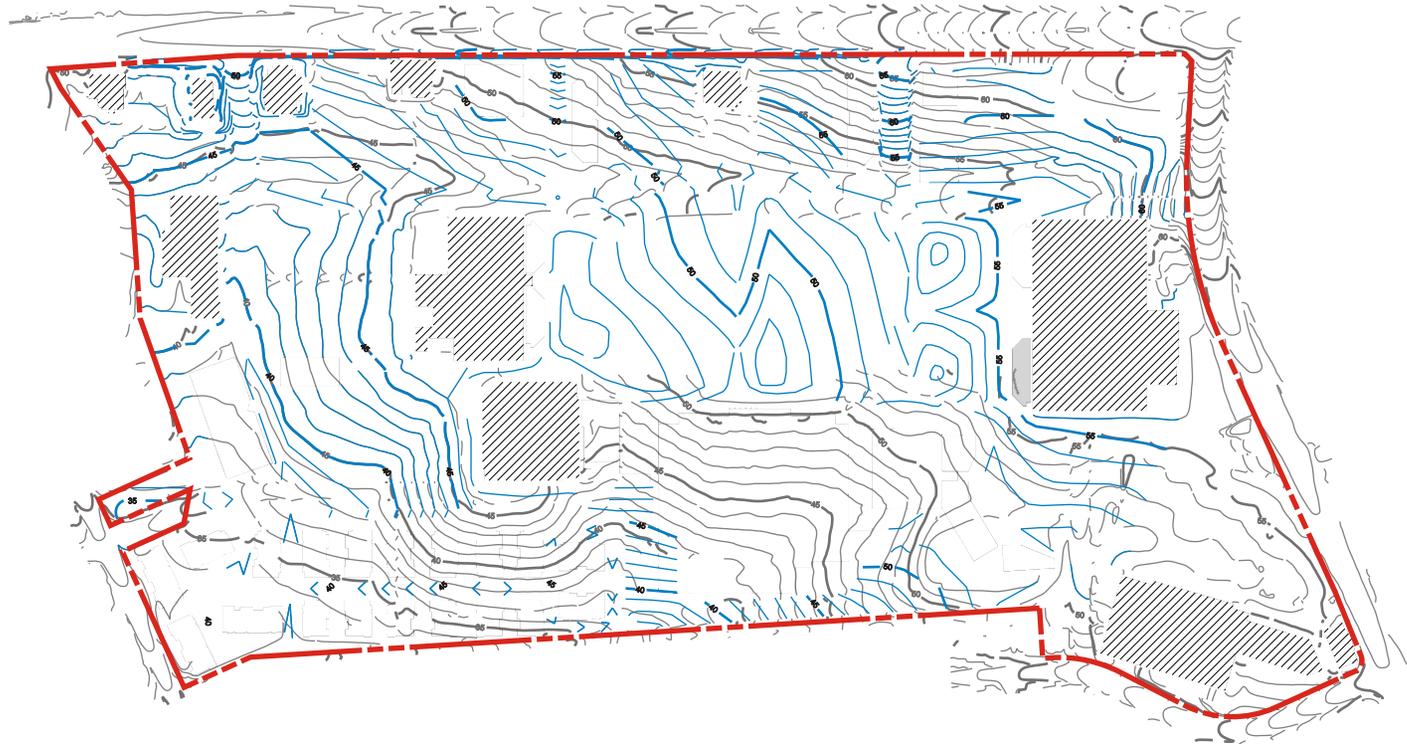
**2. SEWER PLAN**

The City of Whittier and the County of Los Angeles will provide wastewater service within WHITTWOOD TOWN CENTER. The site is served by an on-site main that runs west along the northern face of the existing mall, then south through the mall between Sears, then between

**LEGEND**

EXISTING CONTOURS

PROPOSED CONTOURS



Notes:

This is a conceptual site design for illustrative purposes only. Individual building designs are typical and based on requirements established by the WHITTWOOD TOWN CENTER design guidelines and development standards. Actual development may vary.

Source: Tait & Associates



EXISTING BUILDING TO REMAIN



PROPOSED BUILDINGS

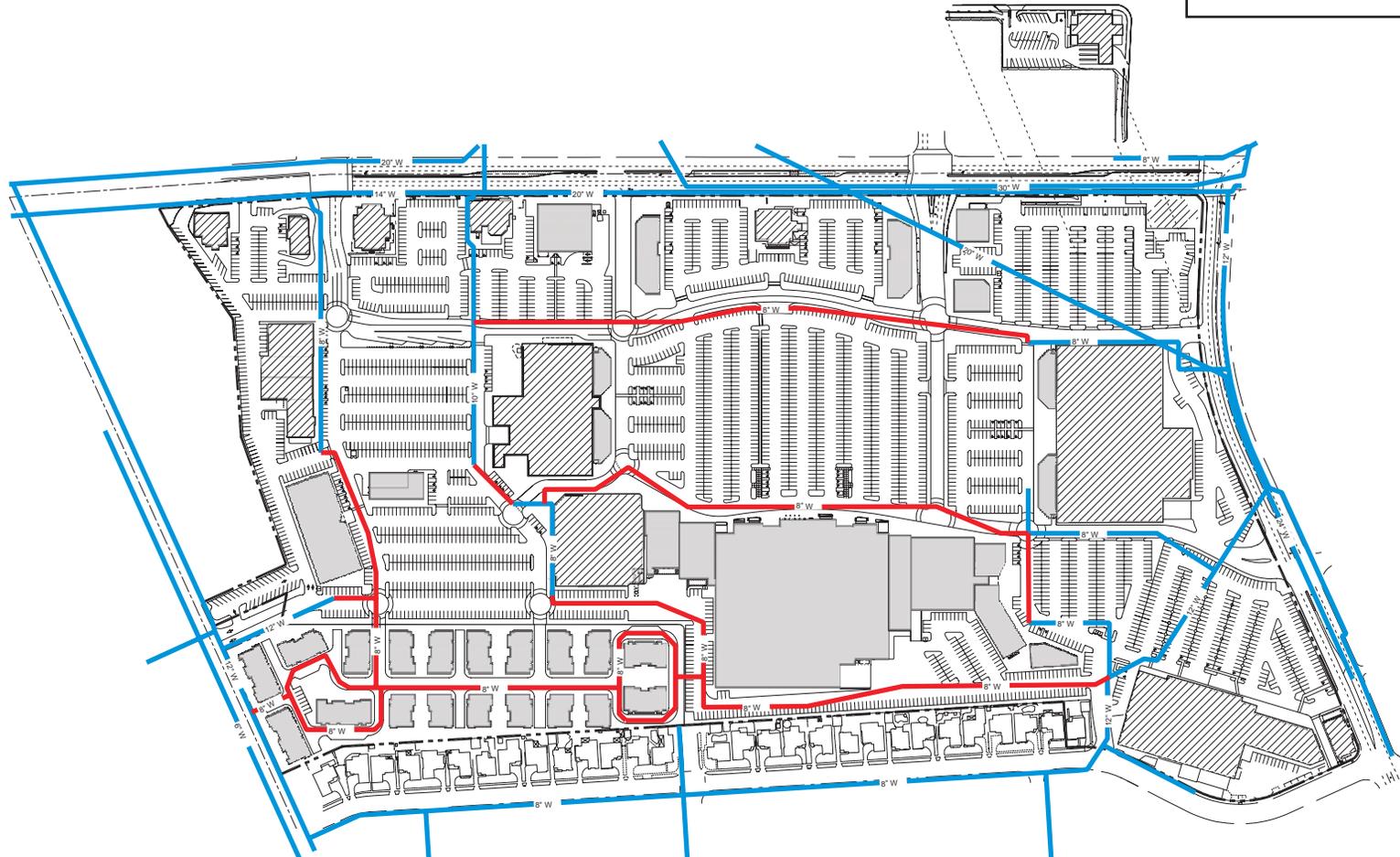
Figure 20  
**Conceptual Grading Plan**



**LEGEND**

**PROPOSED WATER**

**EXISTING WATER**



**Notes:**

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Source: Tait & Associates



**EXISTING BUILDING TO REMAIN**



**PROPOSED BUILDINGS**

**Figure 21**  
**Conceptual Water Plan**





Mervyn’s and the mall and continuing south to a connection in Messina Drive. The main also runs west along the southerly face of the mall and connects to the main extending south to Messina Drive. Sewer service along the westerly project edge runs south and connects to sewer service within Scott Avenue. The Vons portion of the site is serviced by a main from Santa Gertrudes that connects to the main located in Starbuck Street. These mains are within easements and maintained and operated by the above-mentioned agencies.

Pursuant to the request of the City of Whittier, private sewer mains connecting to the main within Messina Drive will provide proposed on-site service to WHITTWOOD TOWN CENTER. The existing on-site system around the mall portion of the site will be quitclaimed. The majority of the existing system will be abandoned and a new private 8” sewer main will be constructed to serve the site (see Figure 22, *Conceptual Sewer Plan*). The westerly portion of the site and the existing Vons and adjacent pads will continue to be served by the existing public mains located on-site.

**3. DRAINAGE PLAN**

The majority of the site drains to on-site storm drains which ultimately travel west to Los Angeles County Project No. 532, a 114” Reinforced Box Culvert (RCB), flowing southerly along the westerly project boundary. The Vons portion of the site drains to the Los Angeles County Reinforced Concrete Pipe (RCP), flowing southwestly from Santa Gertrudes to Starbuck Street.

The proposed drainage plan developed for WHITTWOOD TOWN CENTER will result in a similar drainage pattern and is shown on Figure 23, *Conceptual Drainage Plan*. However, to accommodate the proposed site layout and the resulting grading, a new on-site storm drain will be required and portions of the existing on-site system will be abandoned. The new storm drain will be constructed of Corrugated Polyethylene Pipe (CPP) ranging in size from 12” to 36”. The new lines will be connected to existing portions of the on-site system which ultimately

drain to the above mentioned Los Angeles County Facilities.

Recent changes in the National Pollutant Discharge Elimination System (NPDES) requirements from the Regional Water Resources Control Board require the site to comply with the Los Angeles County Standard Urban Storm Water Management Plan (SUSMP). As a result, the site will be designed to ensure that the post development runoff does not exceed the predevelopment runoff. In addition, the proposed systems will be designed to provide for treatment of the first flush water volume as required by the SUSMP.

**4. PUBLIC SERVICES**

Detailed studies were undertaken to ensure the timely, adequate, and efficient provision of public services to meet the demands of residents, visitors, and shoppers of WHITTWOOD TOWN CENTER. Required services and anticipated providers are listed in Table 2, Public Service Providers, and are summarized below. A more detailed discussion of facilities and service availability is presented in the companion Environmental Impact Report (EIR) prepared for the WHITTWOOD TOWN CENTER Specific Plan.

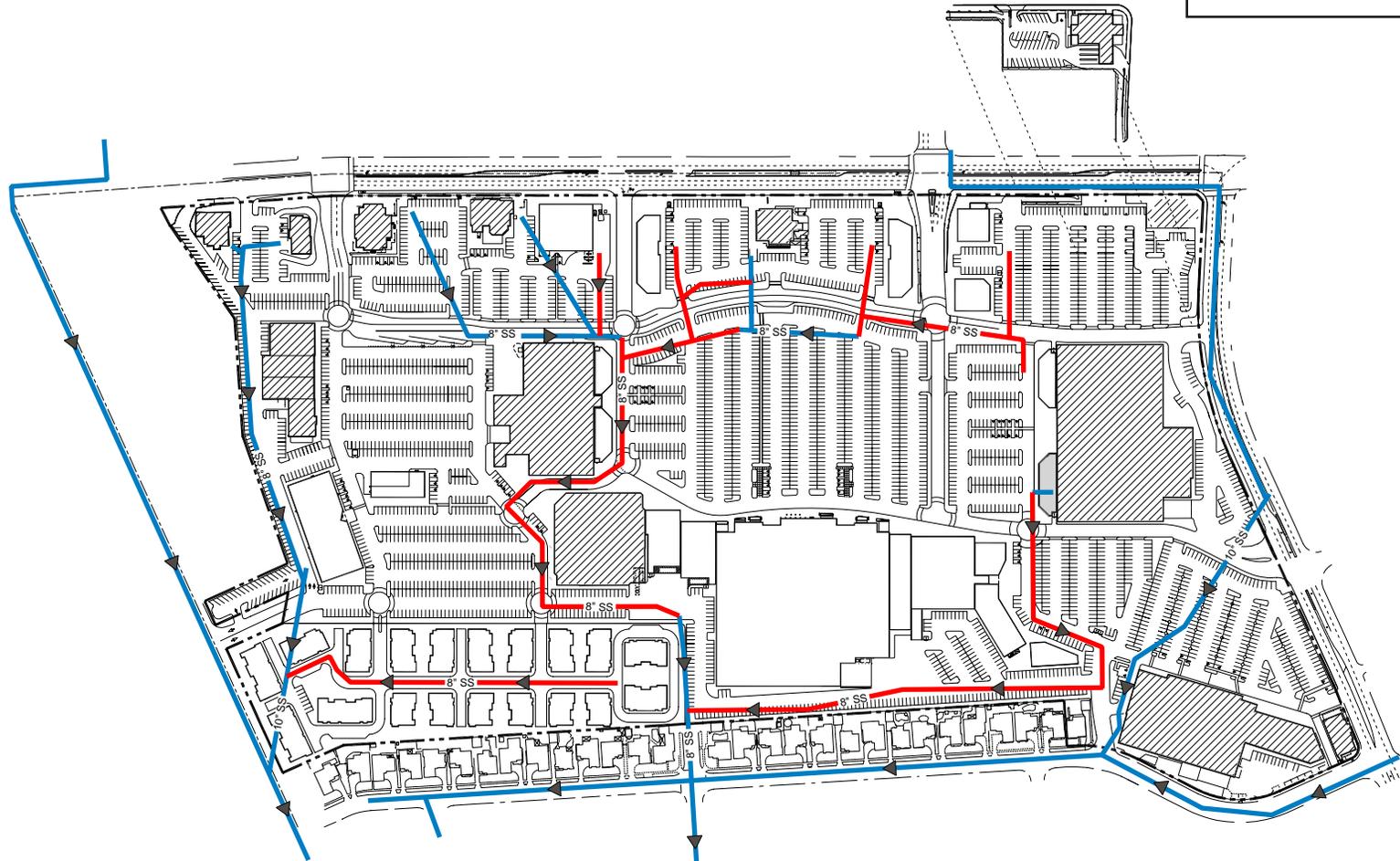
**TABLE 2  
PUBLIC SERVICE PROVIDERS**

<b>SERVICE</b>	<b>PROVIDER</b>
Electricity	<i>Southern California Edison</i>
Gas	<i>Southern California Gas Company</i>
Water	<i>Suburban Water Systems</i>
Sewer	<i>City of Whittier – Los Angeles County</i>
Solid Waste	<i>Consolidated Disposal Services</i>
Telephone	<i>Verizon</i>
Cable	<i>Charter Communications</i>
Police Protection	<i>Whittier Police Department</i>
Fire Protection	<i>Los Angeles County Fire Department</i>

**LEGEND**

PROPOSED SEWER

EXISTING SEWER



**Notes:**

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Source: Tait & Associates

-  EXISTING BUILDING TO REMAIN
-  PROPOSED BUILDINGS

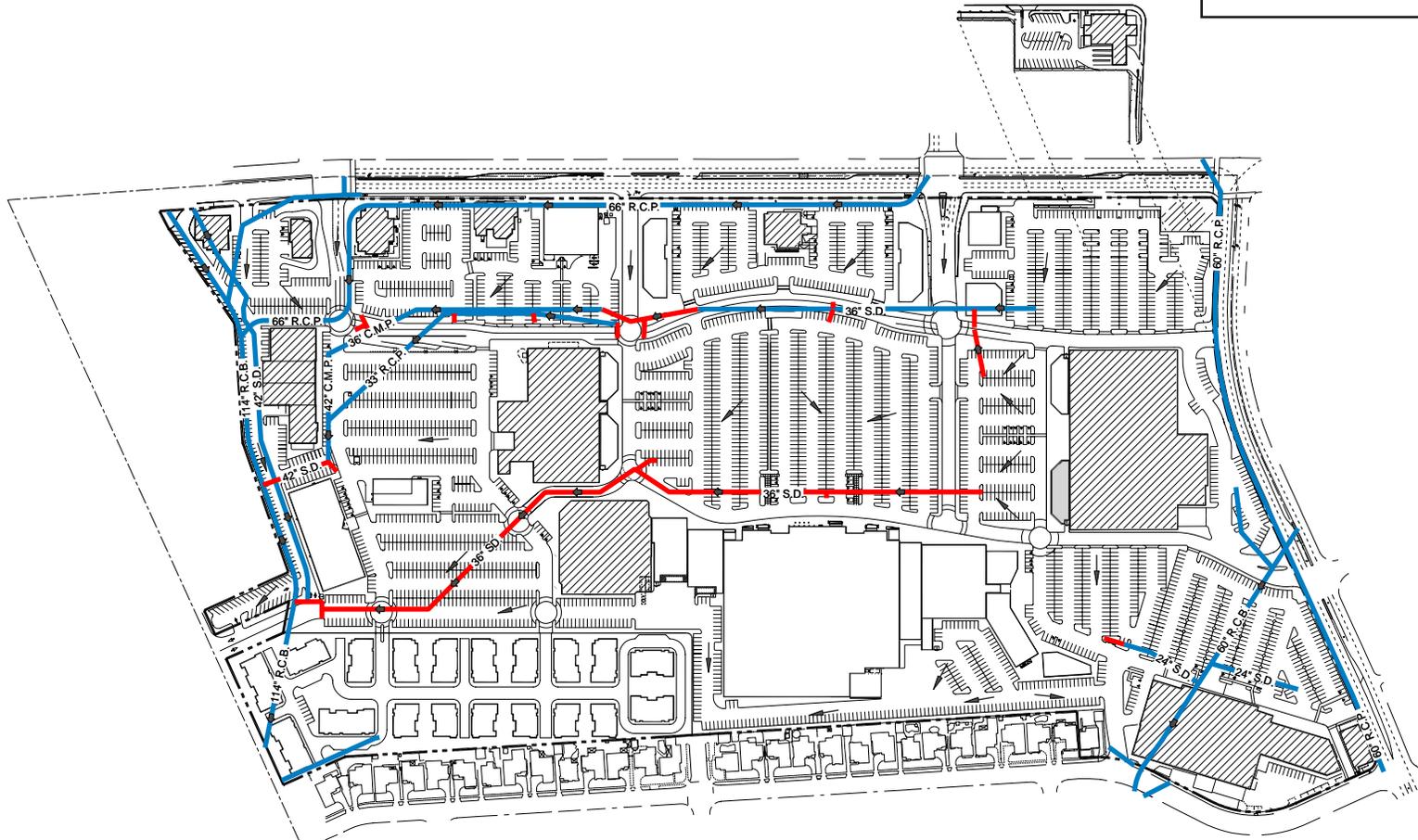
Figure 22  
**Conceptual Sewer Plan**



**LEGEND**

PROPOSED STORM DRAIN

EXISTING STORM DRAIN



**Notes:**

This is a conceptual site design for illustrative purposes only. Individual building designs are typical and based on requirements established by the WHITTWOOD TOWN CENTER design guidelines and development standards. Actual development may vary.

Source: Tait & Associates



EXISTING BUILDING TO REMAIN



PROPOSED BUILDINGS

Figure 23  
**Conceptual Drainage Plan**





## III. DEVELOPMENT STANDARDS

### A. PURPOSE AND INTENT

The following development standards and regulations shall be employed to implement the planning and design concepts of the WHITTWOOD TOWN CENTER Specific Plan. These standards and regulations are:

- Consistent with the land use goals and objectives of the City of Whittier General Plan and Zoning and Development Code;
- Provide detailed implementation measures for site development; and,
- Provide the basic criteria which govern all development within the boundaries of the WHITTWOOD TOWN CENTER Specific Plan.

In accordance with California Government Code Section 65860, each City within the state of California must adopt a zoning and development code which is consistent with the City's general plan. The City of Whittier has adopted a zoning ordinance and development code that is consistent with and serves to implement the City's adopted General Plan. The zones identified and discussed within the WHITTWOOD TOWN CENTER Development Standards shall apply only to the WHITTWOOD TOWN CENTER Specific Plan area. These zones and standards do not apply outside of the Specific Plan area boundaries.

Development within the Specific Plan area shall be subject to the review processes discussed in Section V of this Specific Plan. In addition to the Development Standards and criteria identified herein, all development within the WHITTWOOD TOWN CENTER Specific Plan shall comply with Title 18 of the City of Whittier Zoning and Development Code. Should a conflict arise between a Title 18 provision(s) and any standard(s) or regulation(s) contained herein, the standards and regulations of this

Specific Plan shall take precedence. Any standard or regulation of the City of Whittier Zoning and Development Code not covered by this Specific Plan in the areas of administration, review procedures, and environmental review shall apply to this Specific Plan.

### B. PERMITTED USES

Table 3, *Permitted Uses*, sets forth the uses permitted in each district within the WHITTWOOD TOWN CENTER Specific Plan. Each land use category in Table 3 corresponds to a particular district within the Specific Plan area. The table indicates whether the use is permitted, conditionally permitted by specific condition, conditional use subject to subsequent approval, an interim use, or prohibited within the district. Subject to approval of a conditional use permit by the Planning Director, uses not specifically identified in Table 3 and Chapters 18.30 and 18.82 may be permitted. All interim and conditional uses subject to subsequent approval shall be subject to the standards and criteria described in Chapters 18.52 and 18.54 of the City of Whittier Zoning and Development Code. Requests for uses that are denied by the Planning Director or Planning Commission may be appealed to the City Council for further consideration per Section 18.52.130.

A broad spectrum of permitted uses within WHITTWOOD TOWN CENTER has been incorporated in order to emphasize the fabric of mixed-uses envisioned for the site. In addition to high density residential uses, a variety of commercial-retail, service, professional office, entertainment, restaurant, recreational, and public-uses are permitted to occur within WHITTWOOD TOWN CENTER. For this reason, these standards and regulations encourage a broad interpretation of permitted uses. However, service uses will not exceed 12% of the approved gross leasable area.

**TABLE 3  
PERMITTED USES**

LAND USE	MAJOR RETAIL DISTRICT	WHITTIER BOULEVARD DISTRICT	VILLAGE SERVICE DISTRICT	VILLAGE PLAZA DISTRICT	RESIDENTIAL VILLAGE DISTRICT
<b>Commercial-Retail Uses</b>					
Book Stores	P	P	P	P	X
Drug Stores/Pharmacy	S	S	S	S	X
Food Markets and Convenience Stores – over 3,000 s.f. floor area	P	P	S	P	X
Boutique or Specialty Wine & Liquor Stores – with wine or champagne tastings	P	P	P	P	X
Retail Stores – over 15,000 s.f. floor area	P	C	C	C	X
Retail Stores – under 15,000 s.f. floor area	P	P	P	P	X
Sidewalk & Cart Sales	P	X	P	P	X
Video Rental	S	S	S	S	X
<b>General Services</b>					
Barber Shops, Beauty, Nail, and Tanning Salons and similar uses	P	P	P	P	X
Dry Cleaners	P	P	P	P	X
Miscellaneous Services such as travel, photo developing, shoe repair, and similar uses	P	P	P	P	X
Pet Grooming – without overnight boarding, when conducted as an ancillary use of the primary business	S	S	S	S	X
Pet Grooming – with overnight boarding, when conducted as an ancillary use of the primary business	S	X	X	S	X
Postal Annex, Private	P	P	P	P	X
Printing, Blueprinting, and Copy Services	P	P	P	P	X
<b>Office Uses and Health Services</b>					
General and Professional Services	P	P	P	P	X
Licensed Banks and Savings/Loans	P	P	P	P	X
P – Permitted Use      S – Permitted by Specific Condition <sup>1</sup> C – Conditional Use (Subject to Subsequent Approval)      X – Prohibited Use					
1. Specific development conditions for these uses are provided in Section III-C of this Specific Plan.					



**TABLE 3  
PERMITTED USES (Con't.)**

LAND USE	MAJOR RETAIL DISTRICT	WHITTIER BOULEVARD DISTRICT	VILLAGE SERVICE DISTRICT	VILLAGE PLAZA DISTRICT	RESIDENTIAL VILLAGE DISTRICT
<b>Office Uses and Health Services (Cont.)</b>					
Convalescent Hospitals	X	X	X	X	X
Hospitals	X	X	X	X	X
Medical Centers/Clinics – four or more offices in one building	P	X	P	P	X
Medical Offices – Physicians, Dentists, Optometrists, Chiropractors, and similar practitioners	P	X	P	P	X
Veterinary Clinics/Animal Hospitals/Pet Boarding	S	X	X	S	X
<b>Dining, Drinking, and Entertainment</b>					
Bars and Cocktail Lounges (serving alcohol)	C	C	C	C	X
Coffee Shops and Cafes	P	P	P	P	X
Dancing or Live Entertainment as Principal Use	C	C	C	C	X
Internet café	S	S	S	S	X
Restaurants, Fast Food (with drive-thru)	S	S	S	S	X
Restaurants, Fast Food (without drive-thru)	P	P	P	P	X
Restaurants – over 3,000 s.f. floor area	S	S	S	S	X
Restaurants: retail food sales with ancillary seating	P	P	P	P	X
Restaurants with an On-Sale Alcohol License (food as primary use)	S	S	S	S	X
Theaters, Auditoriums, and Performing Arts Center	C	C	C	C	X
<b>Recreation</b>					
Bowling Alleys, Pool and Billiard Halls	X	X	X	X	X
Game Machines (<4) as an Accessory Use	P	P	P	P	X
Health & Fitness Clubs	S	S	S	S	X
<b>P – Permitted Use</b> <b>S – Permitted by Specific Condition<sup>1</sup></b> <b>C – Conditional Use (Subject to Subsequent Approval)</b> <b>X – Prohibited Use</b>					
1. Specific development conditions for these uses are provided in Section III-C of this Specific Plan.					



**TABLE 3  
PERMITTED USES (Con't.)**

LAND USE	MAJOR RETAIL DISTRICT	WHITTIER BOULEVARD DISTRICT	VILLAGE SERVICE DISTRICT	VILLAGE PLAZA DISTRICT	RESIDENTIAL VILLAGE DISTRICT
<b>Recreation (Cont.)</b>					
Art, Dance, Martial Art, Music, and Photography Studios	P	P	P	P	X
Bicycle and Pedestrian Trails	P	P	P	P	P
Parks, Playfields, Swimming Facilities	X	X	X	X	P
Open Space	P	P	P	P	P
<b>Public and Semi-Public</b>					
Colleges and Universities	X	X	P	X	X
Fire Stations	X	X	X	X	X
Governmental Offices	P*	P*	P*	P*	X
Helistops and Small Heliports	X	X	X	X	X
Libraries and Museums	X	X	X	X	X
Metrorail, Train, Bus, and Taxi Stations	C	C	C	C	X
Police Stations/Substations	P	P	P	P	X
Private Schools, Business and Professional	X	X	X	X	X
Tutoring and Test Prep – no more than 30 students/customers at a time	X	X	P	P	X
Private Swim Schools - Indoors	P	X	P	P	X
Public Utility Facilities	P	P	P	P	P
Public Flood Control Facilities	P	P	P	P	P
United States Post Office	X	X	P	X	X
Vocational Schools (i.e. barber, beauty, etc.)	X	X	C	C	X
<b>Residential</b>					
Single-Family Dwelling	C*	C*	C*	C*	P
Multiple-Family Dwelling	C*	C*	C*	C*	P
Residential Accessory Structure	C*	C*	C*	C*	P
<b>P</b> – Permitted Use <b>S</b> – Permitted by Specific Condition <sup>1</sup> <b>C</b> – Conditional Use (Subject to Subsequent Approval) <b>X</b> – Prohibited Use <b>P*</b> - Permitted on 2 <sup>nd</sup> Floor or Higher <b>C*</b> - Conditional Use Permit on 2 <sup>nd</sup> Floor or Higher					
1. Specific development conditions for these uses are provided in Section III-C of this Specific Plan.					

**TABLE 3  
PERMITTED USES (Con't.)**

LAND USE	MAJOR RETAIL DISTRICT	WHITTIER BOULEVARD DISTRICT	VILLAGE SERVICE DISTRICT	VILLAGE PLAZA DISTRICT	RESIDENTIAL VILLAGE DISTRICT
<b>Lodging and Child Care</b>					
Child Daycare Facilities and Preschools	C	C	C	C	X
Emergency Shelters/Transitional Shelters	X	X	X	X	X
Hotels, Motels, and Inns	X	X	X	X	X
<b>Warehousing and Heavy Commercial</b>					
Central Cleaning or Laundry Plants	X	X	X	X	X
Communication or Relay Facilities/Antennas	C	C	C	C	X
Contractor, Public Utility, and similar equipment and storage yards	X	X	X	X	X
General Warehouse (no sales to consumers)	X	X	X	X	X
Lumber Yards	X	X	X	X	X
Mini-storage/Self Storage	X	X	X	X	X
Wholesaling/Distribution Centers	X	X	X	X	X
<b>Industrial and Research Uses</b>					
Bottling Plants	X	X	X	X	X
Manufacture and Assembly of components or finished products from materials such as cloth, fiber, fur, glass, leather, stone, paper, plastics, metal, and wood	X	X	X	X	X
Offsite Hazardous Waste Facilities	X	X	X	X	X
Recording Studios	X	X	X	X	X
Recycling Centers as a Principal Use	X	X	X	X	X
Research and Development	X	X	X	X	X
Sign Painting and Manufacturing	X	X	X	X	X
Welding, Machine, and Metal Plating Shops	X	X	X	X	X
<b>P</b> – Permitted Use <b>S</b> – Permitted by Specific Condition <sup>1</sup> <b>C</b> – Conditional Use (Subject to Subsequent Approval) <b>X</b> – Prohibited Use					
1. Specific development conditions for these uses are provided in Section III-C of this Specific Plan.					



**TABLE 3  
PERMITTED USES (Con't.)**

LAND USE	MAJOR RETAIL DISTRICT	WHITTIER BOULEVARD DISTRICT	VILLAGE SERVICE DISTRICT	VILLAGE PLAZA DISTRICT	RESIDENTIAL VILLAGE DISTRICT
<b>Accessory Use and Structures</b>					
Antennas and Satellite Dishes	P	P	P	P	P
Dancing or Live Entertainment as an Accessory Use	C	C	C	C	X
Fences and Walls	P	P	P	P	P
Other accessory uses (15% of primary structure) and structures (60% of primary structure) which are customarily associated with and subordinate to the principal use on the premises and are consistent with the purpose and intent of the zoning district	P	P	P	P	P
Outdoor Vending Machines	X	X	X	X	X
Plant Nurseries and Garden Supply	P	P	P	P	X
Recycling Drop Off Bins	P	P	P	P	P
Reverse Vending Machines	P	P	P	P	X
Swimming Pools and Spas as an Accessory Use	P	P	P	P	P
<b>Temporary Uses and Structures</b>					
Christmas Tree Sales	T	T	T	T	X
Halloween Pumpkin Sales	T	T	T	T	X
Special Outdoor Events	T	T	T	T	X
Stands Selling Fresh Produce in Season	T	T	T	T	X
<b>Other Uses</b>					
Adult Businesses/Fortune Telling and Palmistry	X	X	X	X	X
Other Principal, Accessory, and Temporary Use not listed above	COMMUNITY DEVELOPMENT DIRECTOR OR PLANNING COMMISSION TO DETERMINE PRINCIPAL USES AND ZONING ADMINISTRATOR TO DETERMINE ACCESSORY AND TEMPORARY USES PERMITTED IN ACCORDANCE WITH TITLE 18 OF THE ZONING AND DEVELOPMENT CODE				
<b>P</b> – Permitted Use <b>S</b> – Permitted by Specific Condition <sup>1</sup> <b>C</b> – Conditional Use (Subject to Subsequent Approval) <b>X</b> – Prohibited Use					
1. Specific development conditions for these uses are provided in Section III-C of this Specific Plan.					

### C. Uses Permitted by Specific Conditions

Table 4, *Uses Permitted by Specific Conditions*, identifies conditional uses that shall be permitted by the WHITTWOOD TOWN CENTER Specific

Plan in accordance with the provisions and specific conditions set forth on the following pages:

**TABLE 4  
USES PERMITTED BY SPECIFIC CONDITIONS**

USES PERMITTED BY SPECIFIC CONDITIONS	MAJOR RETAIL DISTRICT	WHITTIER BOULEVARD DISTRICT	VILLAGE SERVICE DISTRICT	VILLAGE PLAZA DISTRICT
Food Markets and Convenience Stores – over 3,000 square feet floor area	NO	NO	YES	NO
Restaurants with an On-Sale Liquor License	YES	YES	YES	YES
Restaurants – over 3,000 square feet floor area	YES	YES	YES	YES
Fast Food Restaurants with Drive-thru	YES	YES	YES	YES
Internet Cafes	YES	YES	YES	YES
Video Rental	YES	YES	YES	YES
Health and Fitness Clubs	YES	YES	YES	YES
Drug Stores/Pharmacy	YES	YES	YES	YES
Pet Grooming, when conducted as an ancillary use of the primary business	YES	YES	YES	YES
Overnight Boarding of Animals, when conducted as an ancillary use of the primary business	YES	NO	NO	YES
Veterinary Clinics, when conducted as an ancillary use of the primary business	YES	NO	NO	YES

#### **□ General Provisions**

The following provisions shall apply to all conditional uses permitted by the WHITTWOOD TOWN CENTER Specific Plan:

general welfare of persons residing or working in the area of proposed use or be detrimental to property or to the general welfare of the City.

1. The establishment, maintenance, or operation of the use, building, or structure permitted by the specific conditions set forth by this Specific Plan shall not under any circumstances be detrimental to the health, safety, peace, or

2. The location, size, design, and operating characteristics of the use permitted by specific conditions shall be compatible with and shall not adversely affect abutting properties and surrounding neighborhoods.



- 3. The use shall have adequate public facilities and utilities, vehicular circulation, and parking when the project is completed and shall not have adverse environmental effects on adjacent property.
- 4. The use shall provide adequate staffing, management, and supervisory techniques to prevent loitering, littering, unruliness, and boisterous activities of the patrons outside the use and adjacent public areas.
- 5. The operation of the use shall comply with all applicable requirements of the City of Whittier Municipal Code and federal, state, or local laws.

- 6. If the Planning Director finds evidence that any of the specific provisions or conditions have not been fulfilled or that the use has resulted in a substantial adverse affect on the health and/or general welfare of users of adjacent property, or has a substantial adverse impact on public facilities or services, the Planning Director may refer the use to the Planning Commission for further review and/or modification.

**☐ SPECIFIC PROVISIONS**

The provisions set forth in Table 5, *Specific Conditions*, shall apply as applicable to the use(s) identified in Tables 3 & 4 as “Uses Permitted by Specific Conditions.” Uses complying with these specific conditions and general provisions shall be permitted in the identified districts by the WHITTWOOD TOWN CENTER Specific Plan.

**TABLE 5  
SPECIFIC CONDITIONS**

USE PERMITTED	CONDITIONS
<p><b>FOOD MARKETS &amp; CONVENIENCE STORES (OVER/UNDER 3,000 S.F. FLOOR AREA)</b></p> <p><b>&amp;</b></p> <p><b>LIQUOR STORES (WITH NO CONSUMPTION OF ALCOHOL ON PREMISES)</b></p>	<p>1. Measures shall be taken by tenant to secure adequate lighting inside the business, around the business, and in the parking lot.</p>
	<p>2. The tenant shall submit to the Police Department, a robbery/burglary alarm system for review. The tenant shall be required to install a surveillance camera system, which monitors the front of the store as well as the parking lot area. Should the Police Department find that the surveillance camera system is inadequate, the tenant shall be required to modify the system as the Police Department sees appropriate.</p>
	<p>3. The Police Department reserves the right to review the business owner’s compliance with the terms and conditions set forth by this Specific Plan at any time. If any security and/or public safety concerns develop, the tenant shall work cooperatively with the Police Department to resolve these issues in a mutually accepted manner in accordance with the law.</p>
	<p>4. Food Markets and Convenience Stores may operate up to twenty-four (24) hours a day; Liquor Stores shall operate between the hours of 8:00 A.M. and 11:00 P.M.</p>



**TABLE 5  
SPECIFIC CONDITIONS (Con't)**

USE PERMITTED	CONDITIONS
<p><b>RESTAURANTS (WITH ON-SALE LIQUOR LICENSE)</b></p> <p><b>RESTAURANTS (OVER 3,000 S.F. FLOOR AREA)</b></p>	<p>1. Primary use of the restaurant shall be food sale. No alcohol shall be sold for consumption off the premises and no alcohol consumption shall be allowed in the parking area.</p>
	<p>2. The Police Department reserves the right to review the business owner's compliance with the terms and conditions set forth by this Specific Plan at any time. If any security and/or public safety concerns develop, the tenant shall work cooperatively with the Police Department to resolve these issues in a mutually accepted manner in accordance with the law.</p>
	<p>3. It shall be unlawful for any person, who is intoxicated, or under the influence of any drug, chemical, or substance, to enter, be at, or remain upon the licensed premises as set forth in Section 25602 of the Business and Professions Code.</p>
	<p>4. The tenant shall insure that noise mitigation measures shall be taken to the fullest extent possible to prevent noise from adversely impacting the surrounding area.</p>
	<p>5. The solicitation of alcoholic beverages by an employee of the licensed premises is prohibited.</p>
	<p>6. The person holding the business license for the premises shall be responsible for reimbursing the City of Whittier for costs associated with the provision of extraordinary Police services required to ensure the safety of the community and or patrons, resulting from incidents related to the establishment.</p>
	<p>7. Permitted hours of alcohol service for Restaurants shall be from 11:00 A.M. to 1:00 A.M. No "after hours" operations shall be permitted.</p>
	<p>8. The tenant operator shall be responsible for maintaining free of litter, the area adjacent to the premises over which they have control.</p>
	<p>9. Minors are expressly forbidden from possessing, consuming, serving, or selling alcoholic beverages.</p>
	<p>10. If pay phones are to be located on-site, they shall be located inside the building to prevent loitering.</p>
	<p>11. The establishment shall comply with all laws relating to the sale and on-site consumption of alcoholic beverages, and shall operate only under a license issued by the California Department of Alcoholic Beverage Control (ABC).</p>
	<p>12. Adherence to all California Department of Alcoholic Beverage Control regulations prohibiting the sale of alcohol to person under the age of 21 years shall be strictly enforced. It shall be unlawful for any person who is intoxicated or under the influence of any drug, chemical, or substance, to enter, be at, or remain upon the licensed premises set forth in Section 25602 (a) of the Business and Professions Code.</p>

**TABLE 5  
SPECIFIC CONDITIONS (Cont.)**

USES PERMITTED	CONDITIONS
<p align="center"><b>FAST FOOD RESTAURANTS WITH DRIVE-THRU</b></p>	<p>1. The tenant shall install security cameras to monitor the drive-thru aisle, cash register area(s), and entrances/exits, as a deterrent to criminal should problems ever occur.</p>
	<p>2. The Police Department reserves the right to review the business owner’s compliance with the terms and conditions set forth by this Specific Plan at any time. If any security and/or public safety concerns develop, the tenant shall work cooperatively with the Police Department to resolve these issues in a mutually accepted manner in accordance with the law.</p>
	<p>3. No drive-thru service shall be permitted within 300 feet of a residential area within or adjacent to the Whittwood Town Center unless a sound study determines that the noise impacts to the residential areas have been mitigated to an acceptable level as reasonably determined by the Director of Community Development.</p>
	<p>4. The drive-thru service window shall only provide service to customers in vehicles and cueing space shall be provided for a minimum of six (6) vehicles or 150 linear feet, whichever is greater.</p>
	<p>5. Alcoholic beverages shall be strictly prohibited from the premises.</p>
	<p>6. The loud speaker associated with the drive-thru lane shall be operated in compliance with the City’s Noise Ordinance.</p>
	<p>7. No noise generating compressors or other such equipment shall be placed on or near the property line adjoining any residential district or any property used for residential uses.</p>
	<p>8. Tenants shall collect on-site and off-site litter including food wrappers, containers, and packaging from restaurant products generated by customers within a radius of 150 feet of the property at all times.</p>
	<p>9. The drive-thru service isle shall not provide immediate egress to Whittier Boulevard.</p>
<p align="center"><b>INTERNET CAFES</b></p>	<p>1. No internet cafe shall be allowed to be located within 1,000 feet of another internet café, nor within 600 feet of an elementary, secondary, or high school, nor within 150 feet of a lot in a residential zone.</p>
	<p>2. The maximum number of computer and/or electronic devices with online capabilities shall not exceed one machine for every 50 square feet of gross floor area.</p>
	<p>3. The computer terminals/stations within the premises shall be visible and supervised by an adult attendant 21 years or older. Said attendant shall be present at all times when any computer stations are being operated.</p>
	<p>4. No person under the age of 18 years shall be permitted in the establishment before 3:00 P.M. on days that various Whittier School Districts are in normal session or after 10:00 P.M. Monday through Thursday, and Sunday nights during normal school sessions.</p>



**TABLE 5  
SPECIFIC CONDITIONS (Con't)**

USE PERMITTED	CONDITIONS
<p><b>INTERNET CAFES</b></p>	<p>5. All windows shall be kept clear of window decorations, tint, or curtains that would prevent the interior from being viewed by security or law enforcement personnel from outside the building.</p>
	<p>6. Internet cafes shall not operate between the hours of 12:00 midnight and 6:00 A.M.</p>
	<p>7. Internet cafes with a gross floor area of 2,000 square feet or greater shall provide a security guard after 6:00 P.M. until business closing on Friday, Saturday, and Sunday evenings. Security guards shall be responsible for crowd control both on the premises and adjoining parking areas.</p>
	<p>8. Any form of gambling shall be prohibited.</p>
<p><b>VIDEO RENTAL</b></p>	<p>1. A burglary/robbery alarm system shall be installed and maintained at all times.</p>
	<p>2. Design features shall be incorporated into the floor plan to deter people from stealing merchandise.</p>
	<p>3. Stores offering primarily adult-oriented books or videos for sale or rent (i.e. adult book stores and x-rated videos) shall be strictly prohibited.</p>
<p><b>HEALTH &amp; FITNESS CLUBS</b></p>	<p>1. The tenant shall submit to the Police Department, a robbery/burglary alarm system for review. The tenant shall be required to install a surveillance camera system, which monitors the front of the club as well as the parking lot area. Should the Police Department find that the surveillance camera system is inadequate, the tenant shall be required to modify the system as the Police Department sees appropriate.</p>
	<p>2. Measures shall be taken by tenant to secure adequate lighting inside the business, around the business, and in the parking lot.</p>
	<p>3. The Police Department reserves the right to review the business owner's compliance with the terms and conditions set forth by this Specific Plan at any time. If any security and/or public safety concerns develop, the tenant shall work cooperatively with the Police Department to resolve these issues in a mutually accepted manner in accordance with the law.</p>
	<p>4. Health and Fitness Clubs may operate up to twenty-four (24) hours a day.</p>
	<p>5. A minimum of three (3) employees, including a manager, shall be on-site between the hours of 12:00 A.M. and 6:00 A.M.</p>
	<p>6. Alcoholic beverages shall be strictly prohibited from the premises.</p>
<p><b>DRUG STORE/PHARMACY</b></p>	<p>1. The tenant shall submit to the Police Department, a robbery/burglary alarm system for review. The tenant shall be required to install a surveillance camera system, which monitors the front of the store as well as the parking lot area. Should the Police Department find that the surveillance camera system is inadequate, the tenant shall be required to modify the system as the Police Department sees appropriate.</p>
	<p>2. Measures shall be taken by tenant to secure adequate lighting inside the business, around the business, and in the parking lot.</p>



**TABLE 5**  
**SPECIFIC CONDITIONS (Con't)**

USE PERMITTED	CONDITIONS
<p><b>DRUG STORE/PHARMACY</b></p>	<p>3. The Police Department reserves the right to review the business owner's compliance with the terms and conditions set forth by this Specific Plan at any time. If any security and/or public safety concerns develop, the tenant shall work cooperatively with the Police Department to resolve these issues in a mutually accepted manner in accordance with the law.</p>
	<p>4. Drug Stores and Pharmacies may operate up to twenty-four (24) hours a day.</p>
	<p>5. A minimum of three (3) employees, including a manager, shall be on-site between the hours of 12:00 A.M. and 6:00 A.M.</p>
	<p>6. The drive-thru service window shall only provide service to customers in vehicles and cueing space shall be provided for a minimum of three (3) vehicles or 60 linear feet, whichever is greater.</p>
	<p>7. No alcohol shall be sold for consumption on the premises and no alcohol consumption shall be allowed in the parking area.</p>



## D. GENERAL PROVISIONS

### 1. GENERAL NOTES

WHITTWOOD TOWN CENTER is intended to provide for a mixture of commercial-retail, residential, and service type uses integrated within an urban “Village” environment. The residential uses on-site will provide a “built in” market for the commercial-retail and service uses within individual districts planned for site. Conversely, the commercial-retail and service type uses will provide immediate day-to-day convenience shopping and services for residents within and outside of WHITTWOOD TOWN CENTER. Site development standards and zoning districts are intended to make such uses compatible to and harmonious with the character of surrounding residential and general commercial development.

- The maximum mixed-use/commercial-retail floor area permitted by the WHITTWOOD TOWN CENTER Specific Plan shall be 900,000 square feet.
- The maximum number of high-density residential dwelling units permitted by the WHITTWOOD TOWN CENTER Specific Plan shall be 150.
- Development standards relating to balconies, porches, and accessory structures are not included within this Section and shall conform to the City of Whittier Zoning and Development Code.
- Performance standards for noise, vibration, light and glare, odors and electromagnetic interference shall comply with the City of Whittier Zoning and Development Code.
- All private streets within the Specific Plan shall be permanently reserved and maintained for their intended purpose by means

acceptable and enforceable by the City of Whittier. Access for emergency vehicles shall be maintained at all times.

### 2. DEFINITION OF TERMS

All terms used in this document, with the exception of “Uses Permitted by Specific Conditions,” which is defined below, shall have the same definitions as provided in the City of Whittier Zoning and Development Code, Chapter 18.06, including but not limited to the following:

- **Abut, Adjoining, or Contiguous.** In reference to real property, two or more lots sharing a common lot line. With reference to two or more objects, the same means in immediate contact with each other.
- **Access.** The place or way by which pedestrians and/or vehicles shall have safe, adequate and usable ingress and egress to a lot from a public or private street or alley.
- **Accessory Use.** A use which is directly related, but clearly subordinate, to a permitted principal use.
- **Accessory Building.** Any building or structure which is detached form, but related to, the building containing the permitted principal use of the property on which said accessory is located.
- **Acreage, Gross.** All land within a defined area, including private and public ownerships, rights-of-way, easements, etc., measured to centerline of street.

- **Acreage, Net.** The developable portion of a given site less public rights-of-way, easements, and public and dedicated open space.
- **Auditorium.** A large building to accommodate an audience for meetings, performances, and miscellaneous activities.
- **Alley.** A public or private way designated as an alley by the city, other than a street, permanently reserved as a means of secondary vehicular access to adjoining properties.
- **Balcony.** A platform projecting from the wall of a building, usually resting on brackets or consoles, and enclosed by a railing or parapet.
- **Buffer Areas.** An area of land used to visibly separate one use from another to shield noise, lights or other possible nuisances.
- **Building.** Any structure having a roof supported by columns or walls, or combination thereof, and intended for the shelter, housing or enclosure of persons or property of any kind.
- **Building Coverage.** The relationship between the ground floor area (footprint) of the building(s) and the net lot area.
- **Building Height.** The vertical distance measured from the grade of the lot immediately beneath the portion of the building or structure being measured, to the highest point of such building or structure, based on a topographic survey.
- **Building Main.** A building in which is conducted one or more principal uses permitted upon the lot which it is situated.
- **Centerline.** The centerline, as determined by the city engineer, on any street, highway, or alley.
- **Club, Private.** Any building or premises used by an association of persons, whether incorporated or unincorporated, organized for some common purpose, but not including a group organized primarily to render a service customarily carried on as a commercial enterprise.
- **Commercial Recreation Facility.** A privately owned and operated establishment open to the public, with or without charge, where the public may participate in games of chance or skill, or a sport or other recreation activity, including but not limited to, parks, playgrounds, pool or billiard halls, game arcades, skating rinks, bowling alleys, swimming pools, and miniature golf courses.
- **Common Area.** Land in a residential development held in common and/or single ownership and not reserved for the exclusive use or benefit of an individual tenant or owner.
- **Conditional Use.** A use permitted in a particular zoning district only upon showing that such use in a specified location will comply with all the conditions and standards for the location or operation of such use as specified according to zone and authorized by the Planning Director or Planning Commission. (Any use developed and constructed in substantial conformance with the project-wide Specific Conditions included in this Specific Plan shall not be considered a Conditional Use as defined herein.)
- **Convenience Store.** A retail store which shall provide a variety of household and other necessities, groceries, and other convenience items.
- **Cultural Center.** A non-profit structure which aids, assists, and encourages the research, discovery, and preservation of historical and cultural items, places, and information

concerning a group of people.

- **Dialysis Center.** A medical center that specializes in the treatment and research of renal illnesses.
- **Discount Store.** Discount Store: A retail establishment that offers merchandise for sale at below market price and has no regular stock, constant inventory or standard supplier.
- **Density.** The number of dwelling units, or housing structures per net acre of land.
- **Dwelling Unit.** One or more habitable rooms in a building which are designed to be occupied by any one person or own family, with facilities for living, sleeping, cooking, eating and sanitation.
- **Dwelling, Multi-Family.** A building or portion thereof used for occupancy by three (3) or more families living independently of each other and containing three or more dwelling units, including apartment buildings, but not including group, row or townhomes.
- **Dwelling, Single-Family Detached.** A detached building which, regardless of form of ownership, is designed and/or used to house not more than one family including all domestic employees of such family.
- **Easement.** A grant of one or more of the property rights by the property owner to and/or for the use by the public, a corporation or another person or entity.
- **Floor Area, Gross.** The total horizontal floor area, in square feet, including the exterior walls of all floors of a structure.
- **Floor Area Net.** The total horizontal floor area of all floors of a building included within the surrounding walls, exclusive of vents, shafts, courts, elevators, stairways and similar facilities.
- **Floor Area Ratio.** The gross floor area of all buildings on a lot divided by the lot area.
- **Frontage.** All the property fronting on one side of a street between intersecting streets, or between a street and right-of-way, waterway, end of dead-end street or city boundary measured along the street line. An intercepting street shall determine only the boundary of the frontage on the side of the street which it intercepts.
- **Game Machine.** Any mechanical or electronic machine or device commonly known as video games and pinball machines, which are operated by coin, token or other such manner by the public for entertainment, amusement or test of skill.
- **Garage.** Any building with three enclosed sides, provided with a closeable access door or doors, which is used or intended to be used for automobile shelter or storage.
- **Grade.** The average of the finished ground level at the center of all walls of a building. In the event walls are parallel to and within five feet (5') of a sidewalk, such ground level shall be measured at the sidewalk.
- **Guest Parking.** On-site parking spaces provided for intermittent use by visitors.
- **Homeowners Association.** A community association which is organized within a development in which individual owners share common interests and responsibilities for open space,



landscaping, and/or facilities, private streets, and entry gates regulated by their own CC&Rs.

- **Liquor Store.** A retail establishment that sells alcoholic beverages for off-site consumption.
- **Lot.** A parcel of real property which is shown as a single lot in a lawfully recorded Subdivision Map Act; or A parcel of real property, the dimensions and boundaries of which are designated as a single lot by a lawfully recorded of survey map; or A parcel of real property shown on a parcel map as a single lot, lawfully recorded pursuant to the provisions of the Subdivision Map Act; or Any parcel of real property otherwise lawfully created and dimensioned prior to the adoption of these regulations; or Two or more lots which are combined, by an appropriate recorded written statement, or two or more lots which are combined by a common usage, shall be deemed, for all purposes, a single lot.
- **Lot Area, Net.** The area within the lot lines of a lot exclusive of any dedications for public rights-of-way, parks, school sites, open space, surface rights easements, or other impediments which prevent the property owner from constructing a structure on that portion of the site.
- **Lot Corner.** A lot situated at the intersection of two or more streets.
- **Lot Coverage.** The percentage of the net area of the lot which is covered by the main building and all accessory structures (as viewed from a plan perspective).
- **Lot, Cul-de-sac.** A lot located on the turning end of a dead-end street with standard turning radii and permanent intent.
- **Lot Depth.** The horizontal distance measured between the midpoints of the front and rear lot lines.
- **Lot, Flag.** A lot having access to a street by means of a private driveway access, easement, or parcel of land not meeting the requirements of this code for lot width, but having a dimension of at least 20 feet at its narrowest point.
- **Lot Frontage.** The length of the defined front lot line measured at the street right-of-way.
- **Lot, Interior.** A lot other than a corner or reversed corner lot, or through lot.
- **Lot, Knuckle.** A lot that has frontage on the outside turning radius of two intersecting streets.
- **Lot Line.** Lines bounding a lot as defined herein.
- **Lot Line, Front.** A lot line separating an interior lot from a street; in the case of a corner or reversed corner, the lot line separating the narrowest street frontage of the same shall mean the narrowest lot line parallel and closest to the nearest street or highway, as determined by the director.
- **Lot Line, Rear.** The lot line which is approximately parallel to, and most distant from, the front lot line.
- **Lot Line, Side.** Any lot line which is not a front or rear lot line.
- **Lot, Minimum-Width.** The horizontal distance between the side lot lines measured along the line constituting the rear of the required front yard area, or between two points each located on the side lot lines at a distance midway between the front and rear lot lines, whichever is lesser.

- **Lot, Reversed Corner.** A corner lot, the side lot line of which is substantially a continuation of the front lot line of a lot which adjoins the rear lot line of the corner lot.
- **Maximum Lot (Building) Coverage.** The maximum area of the lot that may be covered by buildings and roofed structures. This may be expressed in square footage or as a percentage of the minimum lot area.
- **Medical Clinic.** Any facility used for the care, diagnosis, and treatment of sick, active, infirm, or injured persons, but not providing board or facilities for overnight accommodation.
- **Medical Office.** A building or part thereof, where medical doctors, dentists, chiropractors, osteopaths and physiotherapists or occupational therapists, provide diagnosis and treatment to patients, but which does not provide overnight accommodation, and may include such uses as reception areas, offices, consultation, treatment, x-ray and minor operating rooms, provided that all such uses have access only from the interior of the building.
- **Park/Open Space.** An open space area, owned, operated or maintained in whole or in part as a recreational area for public use, including passive and active forms of recreation, designed to serve the neighborhood and community and may include buildings for recreational and community facilities.
- **Parking Space, Off-Street.** A readily accessible area on a lot not including driveways, ramps, loading or work areas, maintained exclusively for the parking of one automobile. No parking shall be leased to any off-site tenant or party.
- **Performing Arts Center.** Arts, such as dance, drama, and music, which are performed before an audience in a structure or open area.
- **Public Flood Control Facility.** Structural or nonstructural projects and measures to correct, prevent, or reduce flood damages including, but not limited to, dams, dikes, other flood control works, floodproofing and storm water management projects.
- **Public Utility Facility.** Any tank, structure, building or part of a building built on, over, or under ground level for the provision of water, gas, electric, and other standard infrastructure services to serve the local district.
- **Recycling Drop Off/Bin.** Designated facility or container where residents and visitors may transport and deposit recoverable resources for reuse including, but not limited to, aluminum cans and paper products.
- **Residential Development.** The construction of, addition to, or exterior remodeling of, a single family dwelling, foundational mobile home, or multiple-family development which requires the issuance of a building permit, and including accessory structures, reproofing, changing of windows, or changing of exterior siding materials.
- **Retail Store.** A building or part of a building where merchandise is offered or kept for sale directly to the public retail, including but not limited to, general merchandise, clothing and apparel, electronics, home improvement items, literature, building materials and gardening supplies, appliances, furniture, musical instruments, data processing equipment, business and office supplies, sporting goods, outdoor supply, toys, and stationary, including, Discount Stores, big-box retailers such as Target and Costco, and home improvements stores such as Lowes.
- **Setback.** The area which defines the depth of the required yard.

Said setbacks are to be measured from the ultimate right-of-way width of a street or a distance perpendicular from the property line for the required yard.

- **Sidewalk and Cart Sales.** Any kiosk/cart used to sell merchandise, which is maintained and operated by a minimum of one sales person, permitted through a City business license and WHITTWOOD TOWN CENTER permit. The kiosk/cart must be self contained with no tables or like material located outside the cart. The kiosk/cart must be professionally constructed and decorated, and compatible in design to the Center.
- **Specific Plan.** A fully planned development, with all design controls, servicing requirements, and financing techniques incorporated into the plan, which is adopted with a self-contained regulatory text and serves to implement the general plan in more detail.
- **State Licensed Banks & Savings/Loan.** An organization, usually a corporation, chartered by a state or federal government, which does most or all of the following: receives demand deposits and time deposits, honors instruments drawn on them, and pays interest on them; discounts notes, makes loans, and invests in securities; collects checks, drafts, and notes; certifies depositor's checks; and issues drafts and cashier's checks.
- **Theatre.** A building, room, or outdoor structure for the presentation of plays, films, or other dramatic performances.
- **Townhome.** A single-family dwelling forming one (1) of a group or series of three (3) or more attached single-family dwellings separated from one another by party walls without doors, windows, or other provisions for human passage or visibility through such walls from basement to roof and having

roofs which may extend from one (1) such dwelling unit to another.

- **Use Permitted by Specific Conditions.** Conditional uses normally approved through the Conditional Use Permit process defined in Chapter 18.52 of the City of Whittier Zoning and Development Code permitted by the WHITTWOOD TOWN CENTER Specific Plan in accordance with the provisions and conditions set forth in this document.
- **Yard.** An area upon a lot, other than a court or open space, required as a front, side, or rear yard, which shall be maintained unoccupied and unobstructed from the ground upward with any encroachments therein, except as expressly authorized in this title.
- **Yard, Front.** A yard extending across the full width of a lot, immediately adjacent to the front lot line thereof. The depth of a required front yard shall be the specified horizontal distance measured between the front lot line and line parallel there to on the lot.
- **Yard, Rear.** An open space contiguous to the rear line of a lot and extending from side line to side line thereof and measured between the rear lot line and the main structure on the lot.
- **Yard, Side.** An open space contiguous to the side line of a lot and extending from the front property line to the rear property line and measured between the side lot line and the main structure.



## E. DEVELOPMENT STANDARDS

The development standards for WHITTWOOD TOWN CENTER have been divided into two sections, Mixed-Use and High Density Residential, and are discussed on the following pages and tables.

### 1. MIXED-USE DISTRICTS

Chapter 18.24 and Section 18.24.040 of the City of Whittier Zoning and Development Code provide the minimum site development criteria for the non-residential portions of the WHITTWOOD TOWN CENTER Specific Plan – Districts 1, 2, 3, and 4. All non-residential uses within WHITTWOOD TOWN CENTER shall be constructed in conformance with these afore-listed sections, except as forth below. Where this document remains silent, the standards and provisions of the Whittier Zoning and Development Code shall apply.

#### a. Lot and Setback Requirements

The purpose of the Lot and Setback requirements is to provide open space for building separation, landscape treatment, and to encourage architectural and site planning design diversity. The following standards shall apply to all new lots and structures within the WHITTWOOD TOWN CENTER mixed-use districts:

##### 1. *Minimum Lot Size and Width*

Minimum lot size shall be 5,000 square feet with a minimum lot width of 35 feet.

##### 2. *Maximum Building Height*

No building shall exceed a height of 100 feet. Where new buildings are proposed in proximity to the existing residential uses adjacent to the southern project boundary, sufficient

screening and stepping back of the building skyline shall be incorporated to avoid visual line of sight impacts.

##### 3. *Maximum Lot Coverage*

Buildings, including accessory buildings, structures, and uses, may cover all of the area of any such lot, except for required setback area.

##### 4. *Front Yard Setback*

No front yard setback shall be required, except to provide pedestrian or automobile access or parking, if not otherwise provided adjacent to the lot in a public or private right-of way. Where pedestrian access and/or vehicle parking is required, a minimum 5-foot landscape setback shall be provided between the building(s) and the walkway or parking lot area.

##### 5. *Side Yard Setback*

A 20-foot minimum side yard setback shall be required. Where pedestrian access and/or vehicle parking is required, a minimum 5-foot landscape setback shall be provided between the building(s) and the walkway or parking lot area. If the side property line is adjacent to a residential zone, all buildings shall maintain a side setback of 20 feet.

##### 6. *Rear Yard Setback*

No rear yard setback shall be required, except to provide pedestrian or automobile access or parking, if not otherwise provided adjacent to the lot in a public or private right-of-way. If the rear property line is adjacent to a residential zone, all



buildings shall maintain a rear setback of 25 feet.

7. *Side or Rear Setback – Abutting Public Street*

The side or rear setback for a building abutting a public street shall be 25 feet.

**b. Equipment Screening**

The purpose of equipment screening standards shall be to allow for the use of equipment while preserving the architectural character and integrity of the surrounding environment. Equipment is deemed to include exterior mechanical and electrical equipment, such as air conditioning units, fans, ductwork, cyclone blowers, cranes, and storage tanks. The following standards shall apply to all uses within the WHITTWOOD TOWN CENTER mixed-use districts:

1. All roof, wall, and ground mounted equipment shall be screened from ground view directly in front of any building.
2. All screening shall be architecturally integrated with the building design. Roof mounted mechanical equipment and/or duct work projecting vertically above the roof or roof parapet shall be screened.
3. Permanent architectural screening, such as roof parapet walls, shall be used to screen roof and wall mounted equipment from ground level views.

**c. Landscaping and Architectural Features**

1. No less than 10% of the gross lot area shall be required to be landscaped.
2. Architectural features and uncovered colonnades shall be able to encroach into any setback by a maximum of 5 feet.

3. Outdoor dining patios shall be able to encroach into any setback provided that a minimum 5-foot setback is maintained.
4. Architectural trellis or similar shading elements shall be able to encroach into any setback provided that a minimum 5-foot setback is maintained.

**d. Security Fences and Walls**

1. A wall or fence not exceeding 8 feet in height may be erected and maintained on any part of a lot except that within required front and street side setbacks.
2. To the extent possible, existing walls and fences located within the project site shall be retained and/or improved as necessary.
3. Fences constructed of chainlink or wire mesh type materials are prohibited, except those necessary for protection of a site during demolition or construction of structures under valid permits. Such fencing shall be subject to the provision of Section 18.24.040 of the Zoning and Development Code.
4. Walls or fences around the northern, eastern, and western *Residential Village District* boundary shall be a mixture of solid block and wrought iron or tubular rail and shall not exceed a height of 8 feet and shall maintain a minimum height of 6 feet, consistent with the project design and subject to review and approval by the Director of Community Development.

**e. Off-Street Parking Requirements**

The parking requirements in the mixed-use districts within WHITTWOOD TOWN CENTER shall conform to Chapter 18.48 of the Zoning and Development Code, unless otherwise listed:

1. Four (4) parking spaces shall be required for each 1,000 square



feet of gross floor area.

2. Full size parking spaces shall have a depth of not less than 18 feet and a width of not less than nine 9 feet with a 2 foot overhang.
3. Compact parking spaces shall have a depth of not less than 16 feet and a width of not less than 8 feet.
4. Parking isle width shall be a minimum of 24 feet.
5. One (1) tree shall be required per every 8 parking spaces in the parking field.
6. Parking facilities shall be located on any portion of any lot where a main building may be placed.
7. Lights illuminating a parking space shall be arranged and screened to reflect light away from adjoining residences and streets. Lights shall have a maximum height of 30 feet.
8. Parking lots within the mixed-use districts shall provide overflow guest parking for the high-density residential district.
9. No less than 10% of the total parking area shall be required to be landscaped.
10. Residential accessory structures for parking shall be permitted in the mixed-use districts only if dwelling units are provided on the second floor or higher.

**f. Signage**

Specific signage guidelines are provided in the *Master Sign Program*, enclosed in Appendix A, which provide a general framework and detailed standards for the proposed signage to occur within the mixed-

use districts of WHITTWOOD TOWN CENTER. Where the *Master Sign Program* and this Specific Plan are silent, signage shall conform to the City of Whittier Municipal Code.



**2. HIGH DENSITY RESIDENTIAL DISTRICT**

Chapter 18.82 and Section 18.82.070-210 of the City of Whittier Zoning and Development Code provide the minimum site development criteria for the residential portion (townhome development) of the WHITTWOOD TOWN CENTER Specific Plan – Districts 5, “*Residential Village District*.” All residential uses within WHITTWOOD TOWN CENTER shall be constructed in conformance with these afore-listed sections, except as set forth below. Where this document remains silent, the standards and provisions of the Whittier Zoning and Development Code shall apply.

**a. Minimum Lot Size and Width**

No minimum lot size or width shall be required. Lots shall not be subdivided.

**b. Maximum Lot Coverage**

Buildings, including accessory buildings, structures, and uses, may cover all of the area of any such lot, except for required setback area.

**c. Property and District Setbacks**

Property and district setbacks shall maintain the minimum distance required to buffer the residential development from adjacent streets and uses as listed below (see Figure 62, *Residential Village District - Southern Edge Treatment*).

- Southerly Property Line (1<sup>st</sup> and 2<sup>nd</sup> story) – 15 feet
- Southerly Property Line (3<sup>rd</sup> story) – 26 feet
- Northerly District Line – 10 feet
- Westerly Property Line – 10 feet
- Easterly District Line – 10 feet

**d. Building Setbacks**

Structures shall maintain a minimum distance between buildings as

listed below:

- Side to Side (2 or less floors) – 10 feet
- Side to Side (3 or more floors) – 15 feet
- Garage Face to Garage Face – 30 feet
- Rear (Garage Side) to Rear – 24 feet
- Front to Front (2 or less floors) – 20 feet
- Front to Front (3 or more floors) – 30 feet
- Side to Front – 15 feet
- Side to Rear (Garage Side) – 35 feet

**e. Encroachment Setback**

Encroachment into setbacks shall be allowed and shall maintain the following minimum distances:

- Fireplace and TV Niche – 2-6 feet
- Patio Wall or Fence (less than 5 feet high) – 2-6 feet
- Architectural Projections – 2-6 feet

**f. Private Street Setback**

No minimum setback shall be required between any structure and a private street within the high-density residential district, except as to provide right-of-way.

**g. Maximum Building Height**

Four-story buildings or structures shall have a height not in excess of 50 feet. Buildings or structures located within 50 feet of the southerly property line and adjacent existing single-family homes shall not exceed three stories or 40 feet in height. Buildings or structures located at the southerly setback shall not exceed a height of 20 feet. An architectural projection such as a chimney may project above the highest point a



maximum of 6 feet.

**h. Minimum Floor Area**

Each dwelling unit shall have a minimum living floor area of 1400 square feet, including walls and excluding garage and accessory uses such as patios and balconies.

**i. Maximum Density**

The maximum number of high-density residential dwelling units permitted by this Specific Plan shall be 150.

**j. Walls and Fencing**

Walls or fences around the northern, eastern, and western district boundary shall be a mixture of solid block and wrought iron or tubular rail and shall not exceed a height of eight (8) feet and shall maintain a minimum height of six (6) feet. The existing wall on the southerly Residential Village District boundary shall be constructed of solid material and maintained at a consistent height of ten (10) feet along its entire length. All walls and fences shall be consistent with the project design and subject to review and approval by the Director of Community Development.

**k. Parking**

The parking requirements in the high-density residential district within WHITTWOOD TOWN CENTER shall conform to Chapter 18.48 of the Zoning and Development Code, unless otherwise listed:

1. Resident parking shall include a minimum of two enclosed spaces per dwelling unit.
2. Enclosed parking spaces shall be in the form of a garage.
3. Resident parking shall be provided within 50 feet of the

dwelling unit it serves.

4. Tandem parking shall be permitted provided both spaces are enclosed and serve the same dwelling unit (i.e. tandem garage).
5. Guest or visitor parking shall include a minimum of one (1) full-size space for every three (3) dwelling units.
6. Surface parking in the mixed-use districts of the town center adjacent to the high density residential district boundary shall serve as overflow guest parking.

**l. Open Space**

- Common Open Space – A minimum of 15% of the district shall be dedicated to common open space. Common open space shall be usable and not include driveways or parking areas, but shall include a minimum of four (4) of the following: courtyards, children’s play areas, family picnic areas, recreation room, spa, swimming pool and pool decking areas.
- Private Open Space – A minimum of 100 square feet of private open space shall be provided per dwelling unit. Private open space may include ground floor patios or courtyards, second or third floor balconies or decks, and roof-top decks. Private open space may be covered, but must be open on at least one side.

**m. Signage**

The following signage shall be permitted in the High-Density Residential District, which include both temporary and permanent types:

1. Permanent Signs
  - Street Signs



- Project Identification
- Fire Lane Signs
- Community Monumentation/Gated Entry Signs

2. Temporary Signs (present until project completion)

- Marketing and Subdivision Sale Signs
- Future Facility Signs
- Directional Signs
- Banners and Flags



**TABLE 6A**  
**DEVELOPMENT STANDARDS SUMMARY – MIXED –USE DISTRICTS**

STANDARD	REQUIREMENT	STANDARD	REQUIREMENT
Minimum Lot Size	5000 square feet	Off-Street Parking:	
Minimum Lot Width	35 feet	Minimum Parking Spaces	4 spaces per 1,000 square feet
Maximum Lot Coverage	No maximum requirement	Full-Size Parking Space	18 x 9
Minimum Yard Setback:		Compact Parking Space	16 x 8
Front Yard Setback	No minimum requirement	Minimum Parking Isle Width	24 feet
Rear Yard Setback	No minimum requirement	Maximum Lighting Height	30 feet
Rear Yard Setback – Abutting Public Street	15 feet	Maximum Wall and Fence Height	8 feet
Side Yard Setback	20 feet	Minimum Encroachment Setback	5 feet
Side Yard Setback – Abutting Public Street	15 feet	Landscaping:	
Rear/Side Yard Setback – Abut. Residential	25/20 feet	Minimum Landscape Area (lot)	10%
Maximum Building Height	100 feet	Minimum Landscape Area (parking)	10%
Minimum Floor Area	No minimum requirement	Minimum Trees per Parking Space	1 tree per 8 spaces

**TABLE 6B**  
**DEVELOPMENT STANDARDS SUMMARY – HIGH-DENSITY RESIDENTIAL DISTRICT**

STANDARD	REQUIREMENT	STANDARD	REQUIREMENT
Property and District Setbacks:		Open Space:	
Southerly Property Line (1 <sup>st</sup> and 2 <sup>nd</sup> story)	15 feet	Private Open Space	100 square feet
Southerly Property Line (3 <sup>rd</sup> story)	26 feet	Common Open Space	15% of District
Northerly District Boundary	10 feet	Private Street Setback	No minimum requirement
Westerly Property Line	10 feet	Minimum Lot Size	Not to be Subdivided
Easterly District Boundary	10 feet	Maximum Lot Coverage	Not to be Subdivided
Building Setbacks:		Minimum Floor Area	1400 square feet
Front to Front (2 or less floors)	20 feet	Maximum Building Height:	
Front to Front (3 or more floors)	30 feet	Three-story or less	40 feet
Garage Face to Garage Face	30 feet	Four-story or more	50 feet
Rear (Garage Side) to Rear	24 feet	Located <50 feet from Southerly Property Line	40 feet
Side to Side (2 or less floors)	10 feet	Located at Southerly Setback	20 feet
Side to Side (3 or more floors)	15 feet	Maximum Density	150 dwelling units
Side to Front	15 feet	Maximum Wall and Fence Height – N, E, & W Boundary	8 feet
Side to Rear (garage side)	35 feet	Maximum Wall and Fence Height – Southerly Boundary	10 feet
Minimum Encroachment Setback:		Off Street Parking:	
Architectural Projections	2 - 6 feet	Resident Parking (enclosed garage)	2 spaces per unit
Patio Wall or Fence	2 - 6 feet	Guest Parking (on-site, no compact spaces)	1 space per 3 units

## IV. DESIGN GUIDELINES

### A. PURPOSE AND INTENT

The WHITTWOOD TOWN CENTER Design Guidelines provide a general framework for architecture, landscaping, entry monumentation, and signage in order to ensure a high-quality mixed-use development. The overall goal of the WHITTWOOD TOWN CENTER Design Guidelines is to create a “Village” that employs significant elements of an existing built environment upon which to create a strong foundation for establishing key characteristics of new urban design. These guidelines are intended to provide criteria for design, while allowing flexibility for architects, landscape architects, developers, builders, and others involved in the redevelopment of WHITTWOOD TOWN CENTER. Through collaboration and cooperation between the master developer, the builder(s), and the City of Whittier, the redevelopment of WHITTWOOD TOWN CENTER is destined to be a successful and desirable addition to the Whittier community.

The specific objectives of the Design Guidelines are to:

- Provide guidance to builders, engineers, architects, and landscape architects, and other professionals in order to obtain the desired design quality envisioned for WHITTWOOD TOWN CENTER.
- Provide the City of Whittier with the necessary assurances that WHITTWOOD TOWN CENTER will be redeveloped in accordance with a certain quality and character as set forth in this document.
- Provide guidance to City staff, the Planning Commission, and the City Council in the review of future development projects in the Specific Plan area.

- Reinforce an urban “Village” environment through the creation of strengthened circulation system an interconnected network of pedestrian focal nodes, plazas, and public spaces unified by an alluring hardscape and landscape theme.
- Maintain sensitivity to adjacent uses through adherence to these design guidelines by establishing setback, building orientation, signage, and lighting guidelines.
- Provide design guidelines which permit the WHITTWOOD TOWN CENTER Specific Plan area to develop its own theme and character while allowing it to interface with and respond to the character and design fabric of adjacent areas and the Whittier Boulevard Revitalization Master Plan.

The Design Guidelines are intended to be flexible and work in concert with the *Development Standards* contained in Section III of this document. They are subject to modification over time so as to allow for response to unanticipated conditions, such as changes in taste, community desires and the marketplace, or significant changes within adjacent districts within the WHITTWOOD TOWN CENTER Specific Plan. Yet, it is critical that these guidelines are followed in a manner consistent with this design theme in order to create a unified concept while providing the opportunities for diversity and visual interest, which are so apparent in the most successful mixed-use developments in Southern California.

This Specific Plan document recognizes that the redevelopment of WHITTWOOD TOWN CENTER will play a vital role in the revitalization of the Whittier Boulevard commercial corridor. This document and the

design guidelines contained herein support the City's planning concept and expands upon the goals outlined in the Whittier Boulevard Master Plan. Taking into account the unique project location, the remaining existing uses, the site's topographic and elevational differences, an overarching design concept has been consistently applied throughout the project to establish a unified mixed-use urban "Village."

The photographs, sketches, and other graphic representations in these Design Guidelines are offered as general visual aids in understanding the basic intent of the design theme and its key implementing elements. The design components presented in this document are provided for informational purposes and are to be used in identifying the desired design composition for the mixed-use and high-density residential districts within WHITTWOOD TOWN CENTER. Design components are provided as a palette of character, materials, and colors defining elements that shall be reflected in the mixed-use, commercial-retail, and residential design proposals.

## B. INTRODUCTION

WHITTWOOD TOWN CENTER is strategically organized around a series of districts, which are interconnected and link to the pedestrian and vehicular circulation network. The sequencing of public spaces and pedestrian and vehicular flow across the site have been developed to promote a pedestrian-oriented urban "Village" environment. The fabric of districts, each with their unique architectural theme and identity, will be interwoven by a strong network of pedestrian linkages and a cohesive landscape, hardscape, pedestrian focal nodes, and signage program. A large palette of rich materials and warm vibrant colors will accentuate the various districts, creating a rich tapestry of styles, functions, and visual and sensory experiences. As such, there is no overriding design theme or style for the entire project, except one: quality.

The Design Guidelines section of the WHITTWOOD TOWN CENTER Specific Plan consists of two principal components: Architectural

Design Guidelines and Landscape Design Guidelines. These components define the design concept, physical character, and theme of WHITTWOOD TOWN CENTER, and will be addressed in more detail within the Design Guidelines.

The Architectural Design Guidelines articulate the characteristics of the built environment. Elements such as architectural theme, building massing and scale, materials and colors, and site planning guidelines combine to form a distinctive identity that defines WHITTWOOD TOWN CENTER as a high-quality mixed-use development. This section also identifies certain key architectural and site design elements that should be considered in all mixed-use and high-density residential districts within WHITTWOOD TOWN CENTER.

The Landscape Design Guidelines are comprised of key project and "Village" components such as project entries and theme intersections, streetscapes, community walls and fences, land use transitions, and pedestrian focal points. The Landscape Design Guidelines present general requirements relative to plant material guidelines, irrigation, planting and maintenance, and outdoor lighting. The plant palette provides a specific list of plants that are compatible with the overall project design theme while implementing a distinctive "signature" for each district within WHITTWOOD TOWN CENTER. When implemented, the plant palette will help establish WHITTWOOD TOWN CENTER a vibrant and cohesive development.

## C. DESIGN THEME

The eclectic architectural fabric of WHITTWOOD TOWN CENTER strives to support a wide array of architectural styles that reflect a blend of the traditional and contemporary built environment. This potentially unrelated architectural palette, reflective of historical urban villages and town centers that grow and transform over time, is woven together through a strong, unifying thread of hardscape and softscape, including signs, fixtures, banners, benches, trellises, and canopies. Vignettes of

the proposed architectural elements and styles for WHITTWOOD TOWN CENTER are provided on Figures 24, 25, 26, 27, 36, and 37. Key aspects of the “environmental graphics” and landscape elements that will weave WHITTWOOD TOWN CENTER into one cohesive whole are featured on Figures 33, 38, 51 through 57, and 60. It is intended that the following architectural and landscape guidelines be employed to implement this project-wide theme.

WHITTWOOD TOWN CENTER is a redevelopment project that will incorporate existing, long-standing conditions that must be taken into consideration when implementing these Design Guidelines. The complex nature of leaving existing buildings and physical conditions with new and preferred buildings, layout, and design treatments will need to be carefully considered during the preparation of subsequent design proposals for proper integration of the site. For that reason, the Design Guidelines provided by the WHITTWOOD TOWN CENTER Specific Plan are encouraged for application to new structures, while providing general architectural, landscape, and hardscape treatments and amenities that will revitalize the existing structures and entire redevelopment area into a cohesive whole.

## D. ARCHITECTURAL DESIGN GUIDELINES

The goal of the architectural design guidelines is to promote visual compatibility and individuality for WHITTWOOD TOWN CENTER and the various districts planned to occur on-site. These guidelines do not promote rigid adherence to style descriptions but assist in the design direction and quality of the end product. Achieving variety and diversity in mixed-use architecture is a key objective of the redevelopment plan for WHITTWOOD TOWN CENTER. For inspiration, WHITTWOOD TOWN CENTER has embraced compatible architectural styles that have historical precedence in Southern California and throughout the world and are capable of contemporary interpretation and variation in a modern urban “Village” environment. The intent is to

avoid “stage-front” architecture, while encouraging the application of detail and materials authentic to the spirit and character of the style.

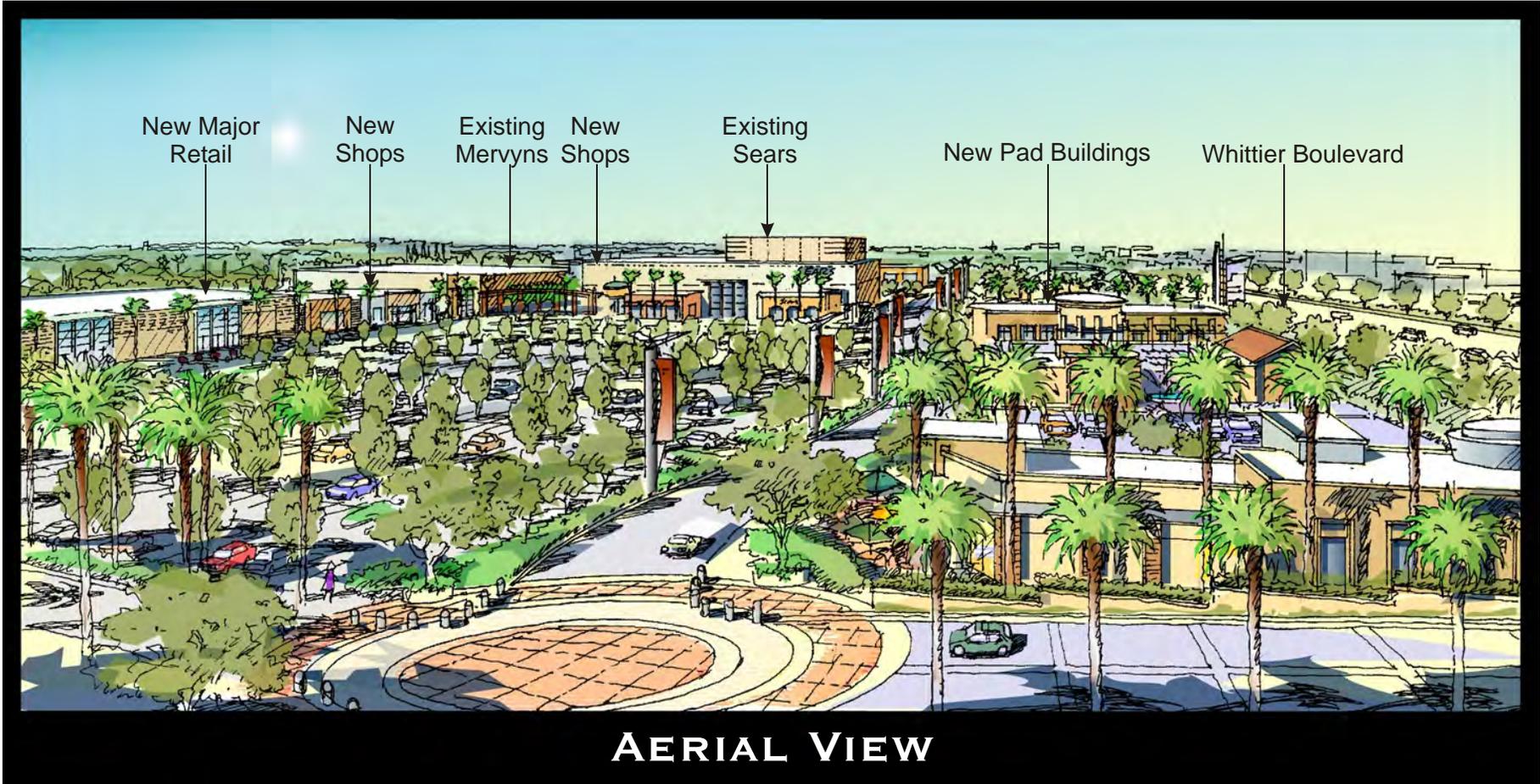
### 1. MIXED-USED DISTRICTS

The existing WHITTWOOD TOWN CENTER consists of an eclectic range of architectural styles, including the 60’s modern big box retail (Sears, Mervyn’s, and J.C. Penney), the pseudo-Spanish style of the recently built Vons and adjacent structures, and a hodge-podge collection of free standing buildings ranging from strip center modern (Bank of America) to pseudo-Victorian (Mimi’s Cafe). The proposed architectural concept for WHITTWOOD TOWN CENTER seeks to embrace all of these diverse building styles to create a development which appears to have developed and matured over time. This allows for the opportunity to establish an urban “Village” by creating four distinct districts, each with its own visual identity. Architectural diversity should be created by manipulating building materials, colors, and textures in conjunction with architectural features (for example, roofs, windows, doors, fascias, and trim), rather than by designing buildings that vary greatly in Figure 24, *Mixed-Use Districts – Vignette A* architectural styles. All architecture shall enhance and enrich the urban “Village” theme.

#### a. Building and District Orientation

At a minimum, buildings located within the mixed-use districts should address a street, a required pedestrian path, or a semi-public plaza. Arcades and trellises may be used to connect buildings and enclose courtyards. Parking should not dominate the experience along any designated pedestrian path and off-street parking should be traversed by landscaped areas.

1. Configuration of buildings, streets, parking, and landscaping must balance the needs of the pedestrian and the automobile.



Notes:

This is a conceptual site design for illustrative purposes only. Individual building designs are typical and based on requirements established by the WHITTWOOD TOWN CENTER design guidelines and development standards. Actual development may vary.

Source: Perkowitz + Ruth Architects

Figure 24  
**Mixed-Use Districts - Vignette A**

not to scale





## WHITTIER BOULEVARD DISTRICT VIEW

**Notes:**

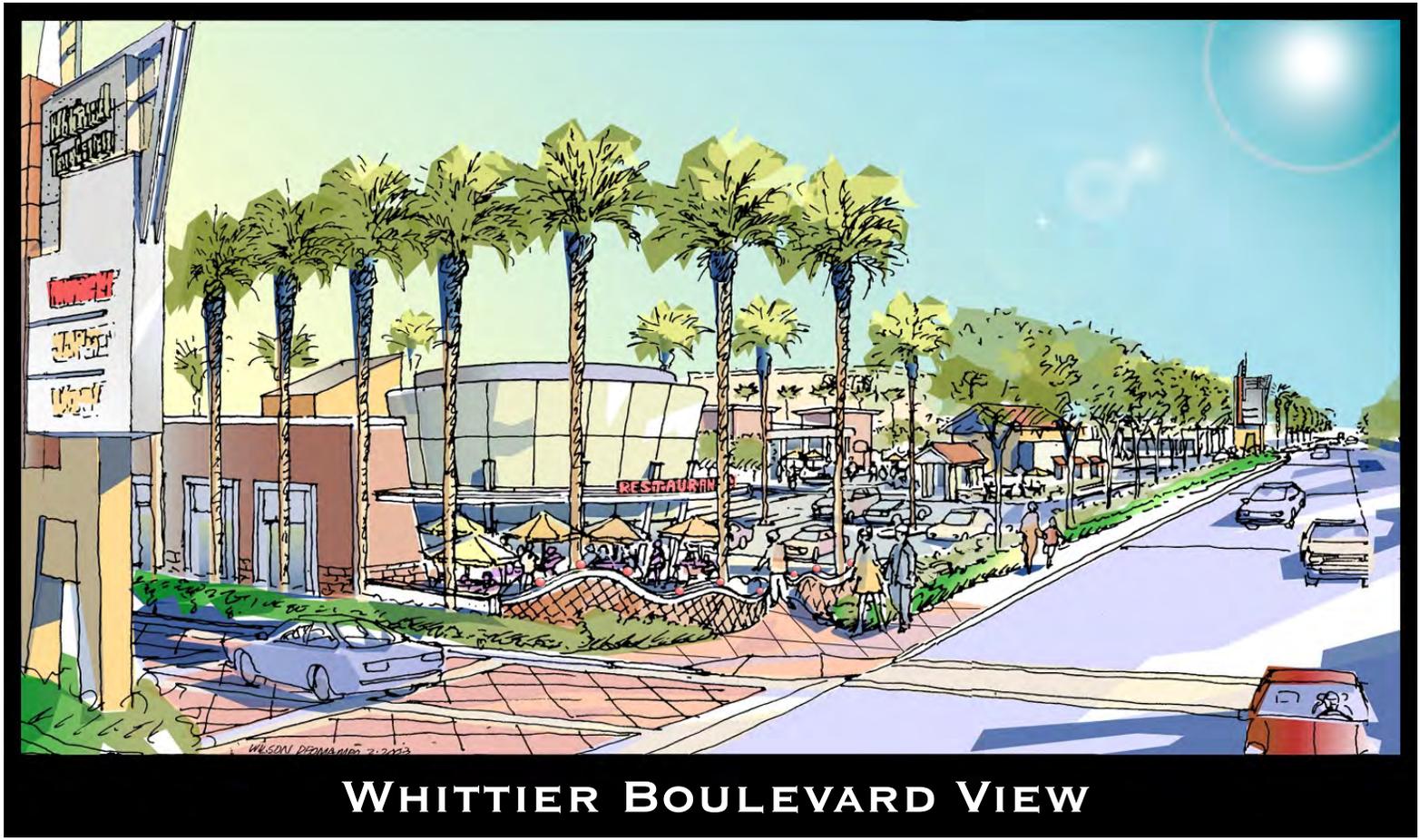
This is a conceptual site design for illustrative purposes only. Individual building designs are typical and based on requirements established by the WHITTWOOD TOWN CENTER design guidelines and development standards. Actual development may vary.

Source: Perkowitz + Ruth Architects

Figure 25  
**Mixed-Use Districts - Vignette B**

not to scale





**WHITTIER BOULEVARD VIEW**

**Notes:**

This is a conceptual site design for illustrative purposes only. Individual building designs are typical and based on requirements established by the WHITTWOOD TOWN CENTER design guidelines and development standards. Actual development may vary.

Source: Perkowitz + Ruth Architects

Figure 26  
**Mixed-Use Districts - Vignette C**

not to scale





## WHITTWOOD PARKWAY VIEW

**Notes:**

This is a conceptual site design for illustrative purposes only. Individual building designs are typical and based on requirements established by the WHITTWOOD TOWN CENTER design guidelines and development standards. Actual development may vary.

Source: Perkowitz + Ruth Architects

Figure 27  
**Mixed-Use Districts - Vignette D**

not to scale



2. Buildings shall be arranged to form a clearly defined focal point or theme that will provide an identity and character.
3. Buildings shall be oriented toward activity centers, shopping and entertainment areas, and gathering spaces.
4. Districts shall be interconnected by a strong pedestrian and vehicular circulation system that are interconnected by paseos, walkways and sidewalks, hardscape, and landscape.
5. Encourage open-air plazas that are pedestrian friendly and act as a focus for development.
6. Where feasible, new construction should be similar to existing buildings in height, width, and rhythm of openings.
7. Shared plazas or courtyards are encouraged within and across property lines.

**b. Building Design**

1. Architecture shall be comprised of simple and distinct masses. Masses should be expressed with clean, sharp edges and corners. A simple hierarchy should be established among the various masses.
2. Architectural elements and accessories shall be provided on the building mass, including but not limited to, arcades, balconies, towers, colorful banners, and decorative lighting features.
3. Building materials shall be durable and convey a sense of permanence. The textural and material quality of building's facade is important. Traditional materials including stone, brick, concrete, precast concrete, metal,

block, and stucco shall be used creatively to provide a sense of permanence. Combined with architectural details, landscape, and hardscape, the buildings can create a sense of connectivity to the pedestrian-oriented streetscene.

4. All utility equipment, mechanical equipment, tanks, ducts, transformers, downspouts, and other similar equipment shall be screened from view from all pedestrian, vehicular, and open space vantage points and should be graffiti- and vandal-resistant.
5. Variations in building footprints shall be promoted through cut-outs, pop-outs, and general positioning of buildings.
6. Roof lines shall to be articulated with shorter elements to reduce building mass. Occasional sloped roof forms shall be introduced over special areas and special functions to create visual interest.
7. Front doors and entrances to buildings shall be clearly defined and articulated by awnings, overhangs, and canopies and shall be easily recognizable from pedestrian and vehicular vantage points.
8. Windows and doors shall be recessed from the front facade to emphasize the mass and integrity of the wall and to create a dramatic shadow line. The patterns of openings should correspond with the overall rhythm of the building and be in line with arcade and trellis openings.
9. Archways, trellises, and varied roof heights, pitches, forms, and colors are strongly encouraged to break up the scale of larger buildings and provide connection between districts.
10. Recycling bins, bike racks, litter cans, planters, benches,

and transit shelters should use materials and have a character consistent with the overall project theme and be graffiti- and vandal-resistant. These features should not interrupt connecting walkways.

11. Transit shelters, play places, outdoor dining areas and vending machines shall be appropriately located in consideration of their intended use. For example, vending machines shall be placed inside stores or screened from the public right-of-way view, and bus shelters should be shaded and located at a convenient site that does not conflict with pedestrian or other vehicular circulation.

**c. Specific Use Design Guidelines**

1. Auto Serving Services:

- a. Entries and windows for auto-service uses need not front onto streets. Entries shall be linked to the street via a connecting walkway. Avoid facing auto-service bays, loading areas, and blank walls toward the street; orient these features to the side or rear while presenting windows, entries, and landscaping to the street. Trees or other landscaping should be used to further screen these features when viewed from the street.
- b. When possible, place auto-serving uses near the street, including gas stations, auto service establishments, or other buildings with a floor area under 10,000 square feet or a lot coverage under 25% (whichever is less). At least 25% of the linear frontage facing the street shall contain windows to enhance the street's security and appearance.

2. Drive-Through Facilities:

- a. Fast food restaurant building entrances, in order to reflect existing conditions, may face the parking lots that are generally located to the front of WHITTWOOD TOWN CENTER. Fast food restaurant buildings adjacent to Whittier Boulevard shall provide a secondary entry along the boulevard of similar stature as the primary entry. Design elements, such as trellises, may encroach into the setback when well integrated with the landscape. Where at all feasible, landscaped berms and/or low walls shall screen the parking lot and drive-through aisle. Restrooms accessed from outside the structure shall not be permitted. Ladders for roof access shall be mounted on the inside of the building, or shall be completely concealed from public view.
- b. The site design should be pedestrian friendly with opportunities for courtyards, plazas, outdoor dining, and landscaped pathways that promote safe and convenient pedestrian movement.
- c. Drive-through restaurants shall have a drive-through lane that measures a minimum of 150 feet in length from entry to pick-up window, accommodating 6 vehicles. The lane shall not enter from the street. The lane shall have a minimum width of 11 feet on straight section and 12 feet on curved section. Drive-through lanes shall be screened through building orientation, landscaping, low screen walls, and trellis work.

**d. Plazas, Public Art, and Views**

Along with the detailed project specific elements set forth in the Landscape Design Guidelines, under Sec.IV.1E.5, the

following guidelines shall apply:

1. Plazas:

- a. Within the combined mixed-use Districts of this Specific Plan, a minimum of one (1) square foot of plaza area for every 100 square feet of gross floor area should be provided and employment uses with more than 20 employees should provide at least 10 square feet of outdoor plaza area for each employee. Plaza areas should be calculated separate from areas devoted to connecting walkways. Outdoor seating, tables and umbrellas, public art, water features, landscaping, gazebos, or other features are encouraged in plazas and should be consistent with the overall project theme.
- b. Plazas are encouraged where high levels of pedestrian activity are expected, such as adjacent to major entrances and food services such as delis, restaurants, coffee shops, and bakeries. Building entries and windows should look onto plazas to enhance activity and security.

2. Public Art:

Plazas, entries, and gateways should incorporate public art in a manner consistent with the overall project theme.

3. Views:

Plazas can be used to draw attention to distinctive features such as entrances, public art, fountains, or plantings.

e. **Parking/Vehicular Circulation Guidelines**

Along with the specific requirements set forth in Sec. III, Development Standards, within this Specific Plan, the following general parking lot guidelines shall apply:

1. Parking lots should generally be placed away from the street, preferably behind buildings.
2. Adequate areas for maneuvering, loading, and emergency vehicle access shall be accommodated on site.
3. Parking areas should be arranged to minimize conflicts with commercial loading activities.
4. Large parking lot areas should be divided into a series of smaller connected lots separated by additional landscaping.
5. Commercial loading and parking should generally be located to the side and rear of buildings with the exception of handicap and short-term parking lots which may be sited between the street and building entrances. Large expansive paved areas between the street and the building(s) are to be avoided in favor of smaller lots separated by landscaping and buildings.

f. **Pedestrian Circulation Guidelines**

1. Create more desirable pedestrian environment by better defining the street edge and orient parking internally to reduce the negative impact from the street.
2. Pedestrian access shall be provided between transit stops and building entrances.

3. Pedestrian crossing distances at driveways should be minimized. In newly developed areas, raised medians should be used to separate ingress and egress lanes and pedestrian islands should be required.
4. Where possible, connecting walkways should follow an alignment that connects building entries and should be at least eight (8) feet wide in these locations.
5. Where connecting walkways pass through parking lots, they should be at least five (5) feet wide (excluding car overhangs) with trees planted at least every thirty-six (36) feet off-center at the rate of one tree for every four stalls.
6. Walkways/pedestrian crossings should consist of special pavers or scored concrete with modules that generally should not exceed three (3) feet in width, but may be allowed if included in final landscape design plans.
7. Where a walkway is oversized to accommodate occasional emergency vehicles, landscaping, grass-crete, and other features should be used to give the walkway a more appropriate scale.

### **g. Service, Loading, and Equipment Areas**

1. Storage for supplies, merchandise, and similar materials shall be prohibited on the roofs of any buildings.
2. Storage of merchandise, material, and equipment are not permitted to be stored to a height greater than any adjacent wall, fence, or building.
3. Service, loading, and storage areas shall be separated from pedestrian and private automobile circulation.

4. Service areas, loading docks, and equipment areas shall be screened from views either by locating these uses within a building or by screening them with landscaping, walls, fences, or other architectural treatments.
5. For screening of loading, service, and/or storage areas to be effective, a minimum treatment height of six (6) feet shall be used.

### **h. Walls and Fencing**

1. Walls, except for walls used to enclose loading docks and trash enclosures, should not be more than ten (10) feet in height. They should be constructed of light colored stucco, concrete, or masonry. Fences should be used only as part of gated areas or as an extension of walls.
2. Chain-link fencing with barbed wire, large blank and flat wall surfaces, and exposed untreated concrete block walls shall be prohibited.
3. Walls and fences shall not prohibit pedestrian access from adjacent residential areas along Starbuck Street and Messina Drive.

### **i. Outdoor Lighting**

Lighting must be considered with the architectural theme as well as for safety purposes. Lighting fixtures and standards can define the quality appearance of developments and help identify focal areas. As a basic guideline, lighting shall comply with the City of Whittier Zoning and Development Code, as well as the following:

1. All outdoor lighting, including spotlights, floodlights, electrical reflectors, and other means of illumination for

signs, structures, landscaping, parking, loading, unloading, and similar areas shall be focused, directed, and arranged to prevent glare and illumination on streets or adjoining property.

2. Low intensity, energy conserving night-lighting is preferred.
3. No freestanding lighting fixtures shall exceed 30 feet in height.
4. Service area lighting shall be contained within the service yard boundaries and enclosure walls. No light spillover shall occur outside the service area. The light source shall not be visible from the street.
5. No specific design is prescribed and variations in treatments shall be allowed; however, light fixtures and standards shall be coordinated along public rights-of-way and within individual districts.
6. Parking lot lighting shall provide adequate illumination for the safety of visitors while minimizing glare into adjacent property and uses.
7. Energy conservation, safety, and security shall be emphasized during the designing and siting of project lighting.
8. Light standards shall blend architecturally with buildings, pedestrian areas, other hardscape elements, and street furniture. Non-decorative wall-pacs and light standards shall not be permitted.
9. Color schemes for signage shall relate to other signs and

graphics in the vicinity in order to achieve a coordinated sense of identity.

10. Parking areas shall use lighting standards and fixtures that are consistent with and a continuation of the character of the district and structures.
11. Exposed neon shall not be permitted. All neon tubes shall be hidden from view.

#### **j. Refuse Containers and Storage**

1. Refuse enclosures and equipment shall be easily accessed by service vehicles with enclosures and equipment located within a building's facade or within a screened enclosure. The enclosure's design shall reflect the architectural style of adjacent buildings and use similar, high-quality materials. Landscaping or trellis work shall screen enclosures visible from a street or connecting walkway and shall be permanently maintained.
2. Trash enclosures shall be located away from residential uses to minimize nuisance to adjacent properties.
3. Cart storage areas shall be integrated within the initial building and site design. Large freestanding enclosures or unscreened "cart corrals" are not encouraged but shall be allowed if they are constructed as a permanent structure and architecturally consistent with the district theme and include landscape treatment such as vines or planters.
4. Outdoor storage areas shall be located away from the street, behind or to the side of buildings. In addition to locating storage areas away from streets, walls shall be used to screen stored materials.

## k. Materials and Colors

Each of the four districts within the mixed-use area of WHITTWOOD TOWN CENTER creates a quilt of distinct types of retail uses, services, and dining opportunities that, when woven together, establish an overall “Village” experience. This “Village” experience is furthered by the creation of a rich materials and colors palette for each district, which provides character and vibrant identity for the mixed-use districts planned for WHITTWOOD TOWN CENTER. The natural or manufactured materials and colors used within these districts should reflect a general theme of environmental harmony with the surrounding topography, existing structures, the *Residential Village District*, and neighborhood character. The architectural style palette selected for the redevelopment of WHITTWOOD TOWN CENTER’S mixed-use districts will contribute to this goal as each material and color palette has historic lineage that shares this common sense approach to the use of materials and colors indigenous to the region. New interpretations of this classic combination of materials and inherent colors are encouraged as they relate to a general feeling of “Village” unity. A brief summary of the various materials and colors palettes for the mixed-use districts within WHITTWOOD TOWN CENTER is provided below and graphically represented on the following pages.

- **Major Retail District** – Contemporary/Modern Palette

The Contemporary/Modern material and colors palette consists of cool tones of painted stucco, tinted glass, and concrete columns accented by pale stone and rich colored slate and fabric awnings (see Figure 28, *Major Retail District – Materials and Colors Palette*).

- **Whittier Boulevard District** – Italiante Palette

The Italiante material and colors palette consists of warm tones of paint accented by pale colored stone and deep colored tile

detailing (see Figure 29, *Whittier Boulevard District – Materials and Colors Palette*).

- **Village Service District** – Historical/Antique Palette

The Historical/Antique material and colors palette consists of rustic stone veneers accented by pale colored stucco and dark stained exposed wood trellises and rafter tails (see Figure 30, *Village Service District – Materials and Colors Palette*).

- **Village Plaza District** – Arts and Crafts Palette

The Arts and Crafts material and colors palette consist of varied warm and green tones of painted plaster accented by dark stained wood and rich colored slate tiles (see Figure 31, *Village Plaza District – Materials and Colors Palette*).

The following guidelines are provided to provide general standards for the implementation of a strongly defined material and colors scheme for development within the mixed-use districts:

1. Primary building colors shall use a combination of earth tones and light colors; bright colors shall be used sparingly.
2. Contemporary accent colors shall be used to highlight architectural elements and should compliment and contrast primary building colors.
3. Varied shades of colors shall be utilized to break up facades and shall use darker toned colors and materials at the base.
4. Use of natural materials and textures as architectural accents is encouraged. High quality and visually



- MATERIALS**
- 1 STUCCO PLASTER LIGHT, MEDIUM TO HEAVY DASH ON VARIOUS PAINT COLOR PALETTE
  - 2 SLATE STONE VENEER
  - 3 LIMESTONE VENEER
  - 4 BRICK VENEER
  - 5 FABRIC AWNING
  - 6 PRE-CAST CONCRETE COLUMN/MOLDING
  - 7 ACCENT CERAMIC TILE
  - 8 METAL TRELLIS
  - 9 GLASS STOREFRONT

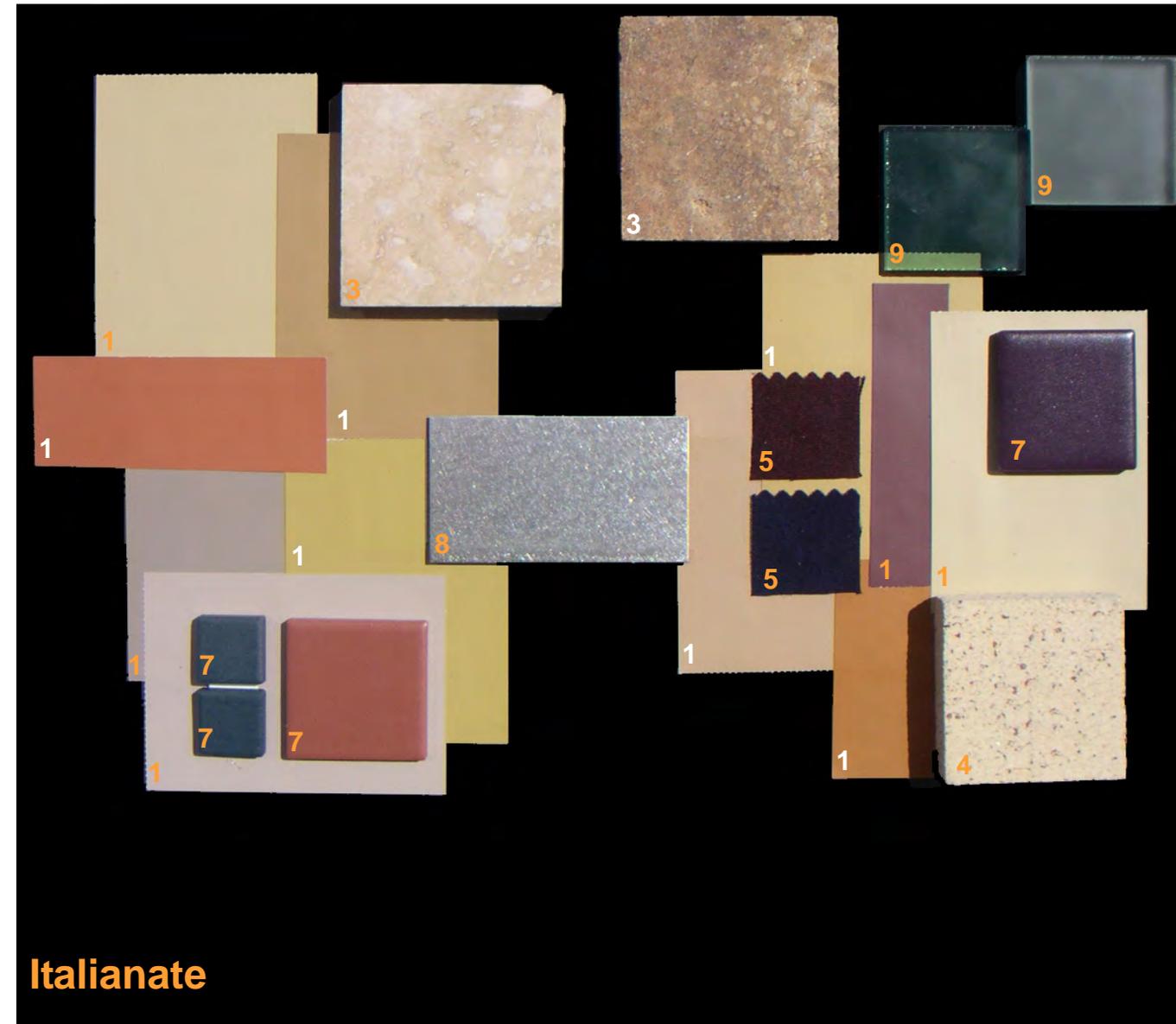
**Contemporary/Modern**

Notes:  
 This is a conceptual materials and colors palette for illustrative purposes only. Actual development may vary.  
 Source: Perkowitz + Ruth Architects

**Major Retail District - Materials & Colors Palette** Figure 28

not to scale





- MATERIALS**
- 1 STUCCO PLASTER LIGHT, MEDIUM TO HEAVY DASH ON VARIOUS PAINT COLOR PALETTE
  - 2 SLATE STONE VENEER
  - 3 LIMESTONE VENEER
  - 4 BRICK VENEER
  - 5 FABRIC AWNING
  - 6 PRE-CAST CONCRETE COLUMN/MOLDING
  - 7 ACCENT CERAMIC TILE
  - 8 METAL TRELLIS
  - 9 GLASS STOREFRONT

**Italianate**

Notes:

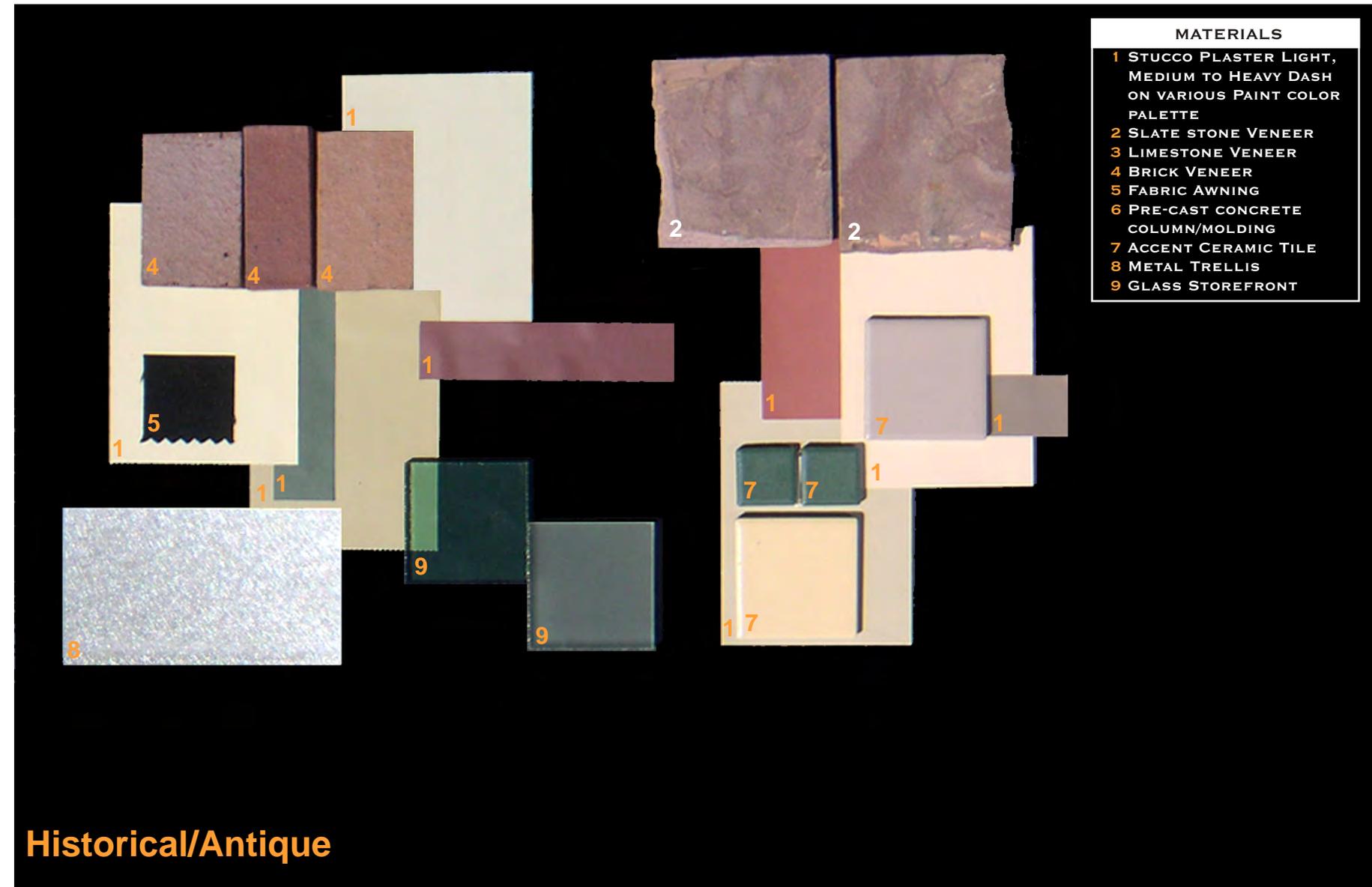
This is a conceptual materials and colors palette for illustrative purposes only. Actual development may vary.

Source: Perkowitz + Ruth Architects

**Whittier Boulevard District - Materials & Colors Palette** Figure 29

not to scale





- MATERIALS**
- 1 STUCCO PLASTER LIGHT, MEDIUM TO HEAVY DASH ON VARIOUS PAINT COLOR PALETTE
  - 2 SLATE STONE VENEER
  - 3 LIMESTONE VENEER
  - 4 BRICK VENEER
  - 5 FABRIC AWNING
  - 6 PRE-CAST CONCRETE COLUMN/MOLDING
  - 7 ACCENT CERAMIC TILE
  - 8 METAL TRELLIS
  - 9 GLASS STOREFRONT

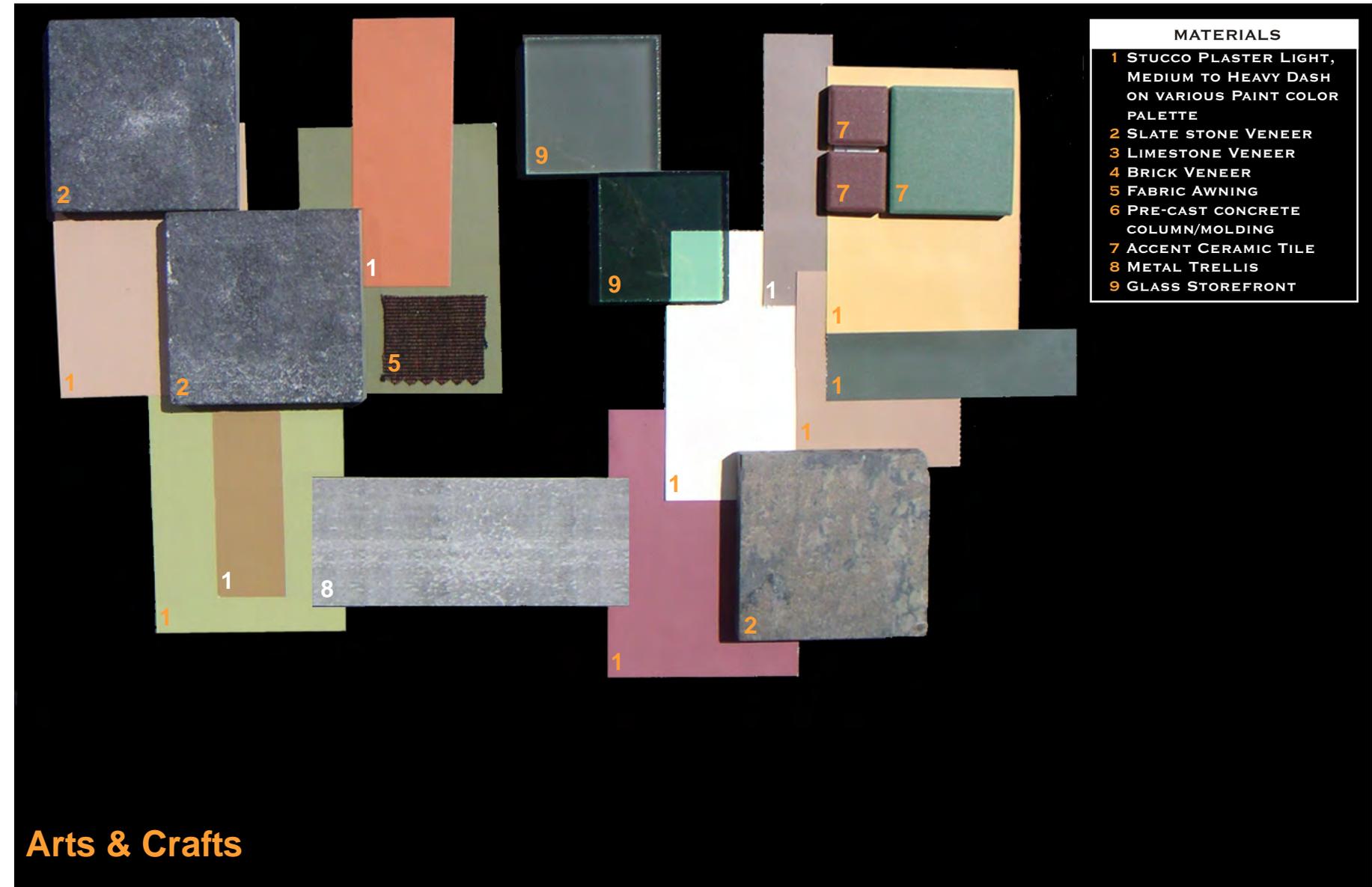
**Historical/Antique**

Notes:  
 This is a conceptual materials and colors palette for illustrative purposes only. Actual development may vary.  
 Source: Perkowitz + Ruth Architects

**Village Service District - Materials & Colors Palette** Figure 30

not to scale





- MATERIALS**
- 1 STUCCO PLASTER LIGHT, MEDIUM TO HEAVY DASH ON VARIOUS PAINT COLOR PALETTE
  - 2 SLATE STONE VENEER
  - 3 LIMESTONE VENEER
  - 4 BRICK VENEER
  - 5 FABRIC AWNING
  - 6 PRE-CAST CONCRETE COLUMN/MOLDING
  - 7 ACCENT CERAMIC TILE
  - 8 METAL TRELLIS
  - 9 GLASS STOREFRONT

**Arts & Crafts**

Notes:  
 This is a conceptual materials and colors palette for illustrative purposes only. Actual development may vary.  
 Source: Perkowitz + Ruth Architects

**Village Plaza District - Materials & Colors Palette** Figure 31

not to scale



complementary manufactured materials also may be used but shall not be substituted for approved natural materials and shall be of integral color of that specific material.

5. Individual color and material schemes shall be appropriate to the architectural style.

## I. Signage Plan – Mixed-Use Districts

The signage plan for WHITTWOOD TOWN CENTER’s mixed-use districts is directed towards creating an aesthetically pleasing development through establishing specific signage guidelines. A *Master Sign Program* has been created for the WHITTWOOD TOWN CENTER redevelopment which will provide detailed standards and requirements for all signage within the mixed-use districts (see Appendix A, *Master Sign Program*). The *Master Sign Program* will provide adequate and appropriate project, building, and tenant identification for the anticipated variety of building sizes, designs, and uses. Equally important, these guidelines encourage incentive and latitude to achieve variety and appealing design through a harmonious blend of architecture and signage on adjacent buildings throughout the development. In this manner, artistic flexibility is allowed while maintaining continuity and appropriate scale to the project as a whole.

Signs are a means to advertise and identify places, events, and businesses within WHITTWOOD TOWN CENTER. Yet, because of the high visibility of signs, they are an important design element of the physical environment and must be considered during the design phase of all developments. Well designed signs are not only pleasing in appearance, but can enhance the economic value and accessibility of a project. A companion Master Signage Program will be crafted and implemented by the master developer of WHITTWOOD TOWN CENTER and will provide detailed standards and mandatory criteria to which all signage must conform.

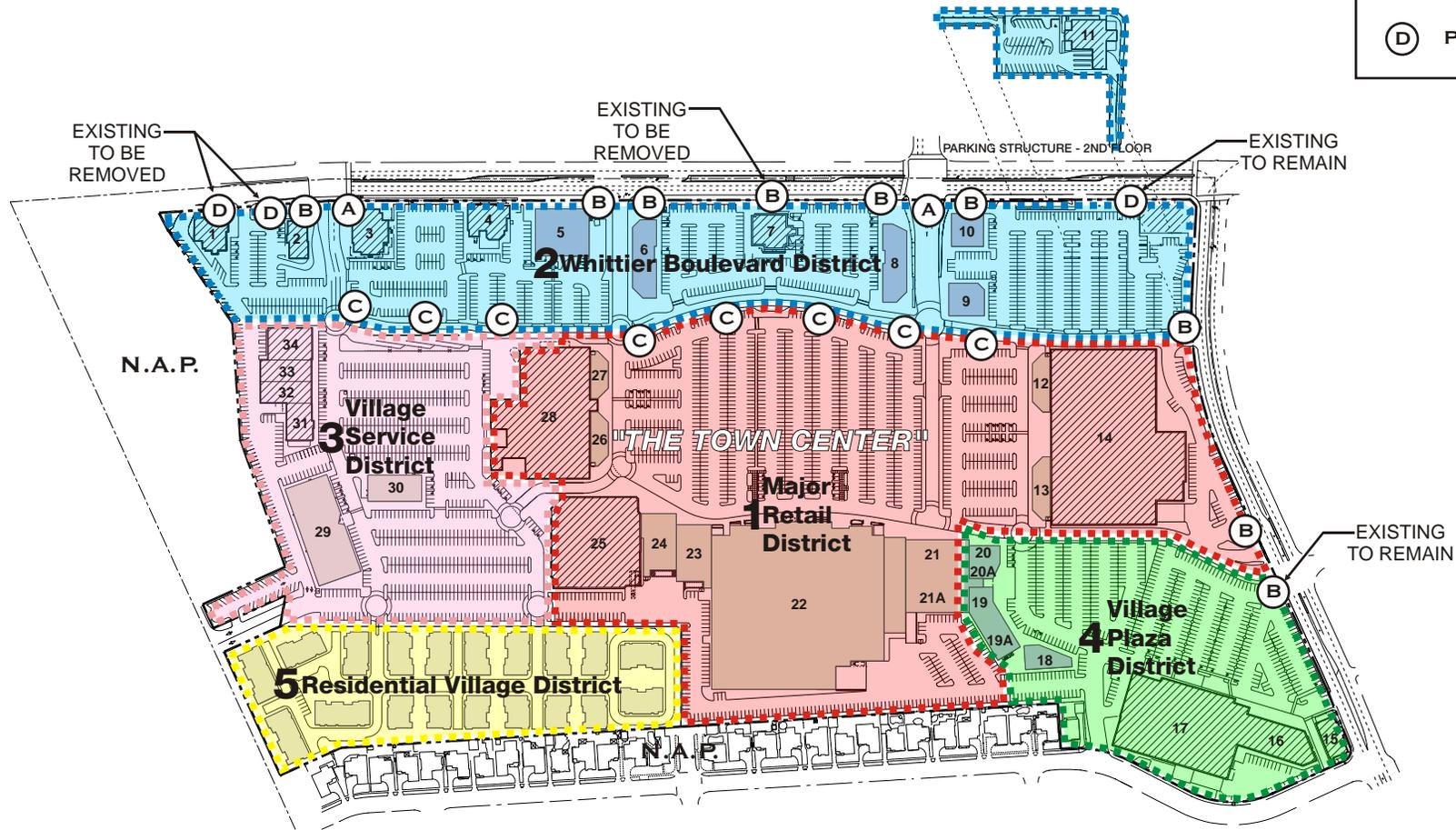
For purposes of this Specific Plan, a *Conceptual Signage Location Plan*, Figure 32, has been developed and forms the foundation for the Master Signage Program. The *Conceptual Signage Location Plan* has been created for illustrative purposes only and provides general locations and placement of signage within the development. Major signage elements within the mixed-use districts include pylon and environmental graphic signs. New monument signs shall not be permitted and all existing signs on-sit shall be retained. Please refer to Figure 33, *Typical Pylon Sign*, Figure 35, *Typical Environmental Graphic Sign*, for a general design concept and dimension of each signage type. Individual tenant signage will be created and designed by the tenant and shall be consistent with the Master Signage Program created for WHITTWOOD TOWN CENTER.

The following signage guidelines provide a general framework and guidelines for the proposed signage to occur within the mixed-use districts of WHITTWOOD TOWN CENTER.

1. Sign types shall be limited to project identification, company and building identification, direction, and temporary “for sale and lease” signs.
2. Signs shall be permitted to project above any roofline.
3. Signs shall be compatible with the building and applicable district in terms of color, material, and placement.
4. Building and company identification signs shall be low to the ground or attached to building facades.
5. All ground mounted signs shall be well integrated into site landscaping.
6. The exposed backs and sides of signs shall be architecturally treated to blend with the exterior character of the buildings and district.

**LEGEND**

- (A) PYLON SIGNS
- (B) MONUMENT SIGNS
- (C) ENVIRONMENTAL GRAPHIC SIGNS
- (D) POLE SIGN



 EXISTING BUILDING TO REMAIN

**Notes:**

This is a conceptual signage location plan for illustrative purposes only. Actual development and location shall be consistent with the WHITTWOOD TOWN CENTER Master Sign Program (see Appendix A).

Source: Perkowitz + Ruth Architects

Figure 32  
**Conceptual Signage Location Plan**





Pylon Front Elevation  
With 3 Tenant Signs

Pylon Front Elevation  
With 4 Tenant Signs

Side Elevation

Figure 33  
**Typical Pylon Sign**

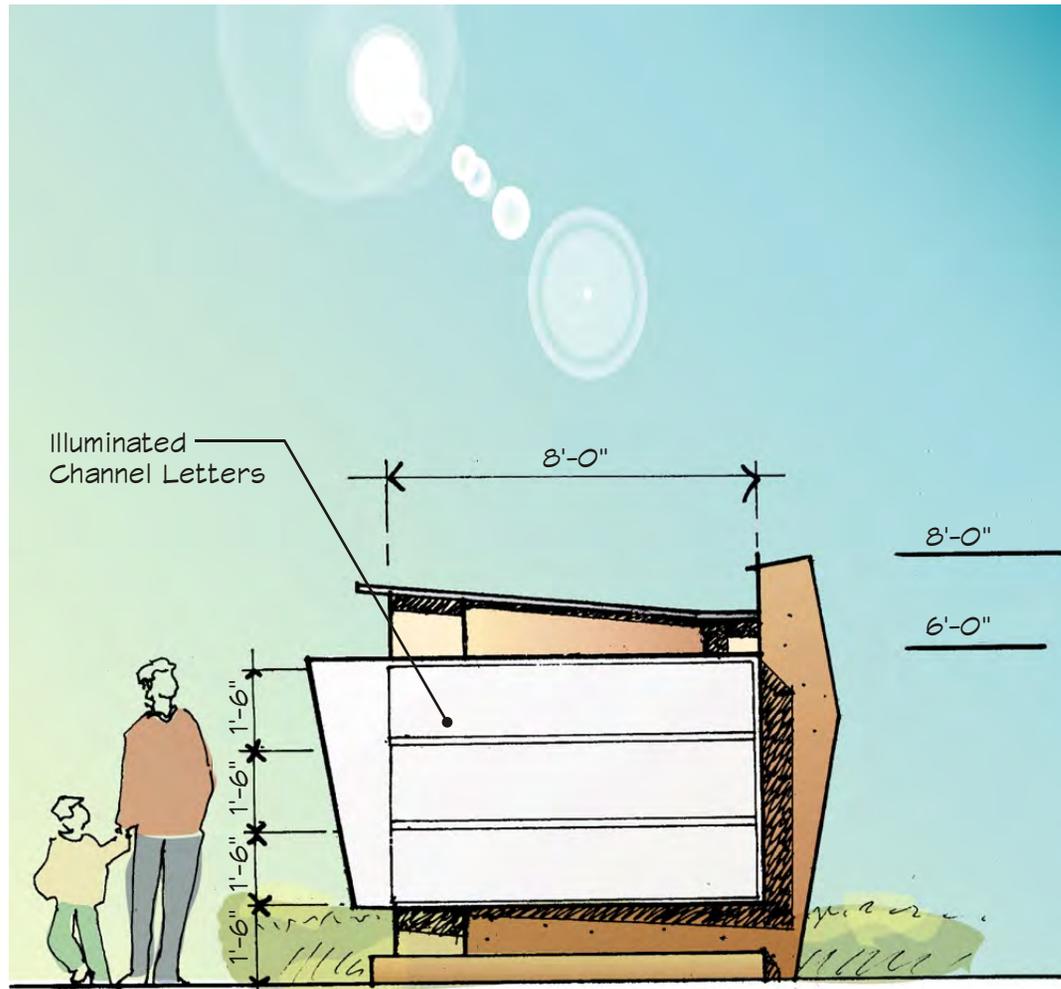
not to scale

Note:

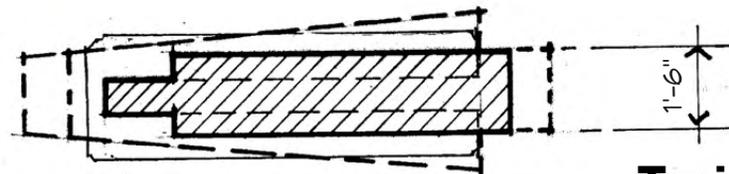
See Figure 32 for sign locations.

Source: Perkowitz + Ruth Architects





Elevation



Plan View

Figure 34  
**Typical Monument Sign**

not to scale

Note:

See Figure 32 for sign locations.

Source: Perkowitz + Ruth Architects



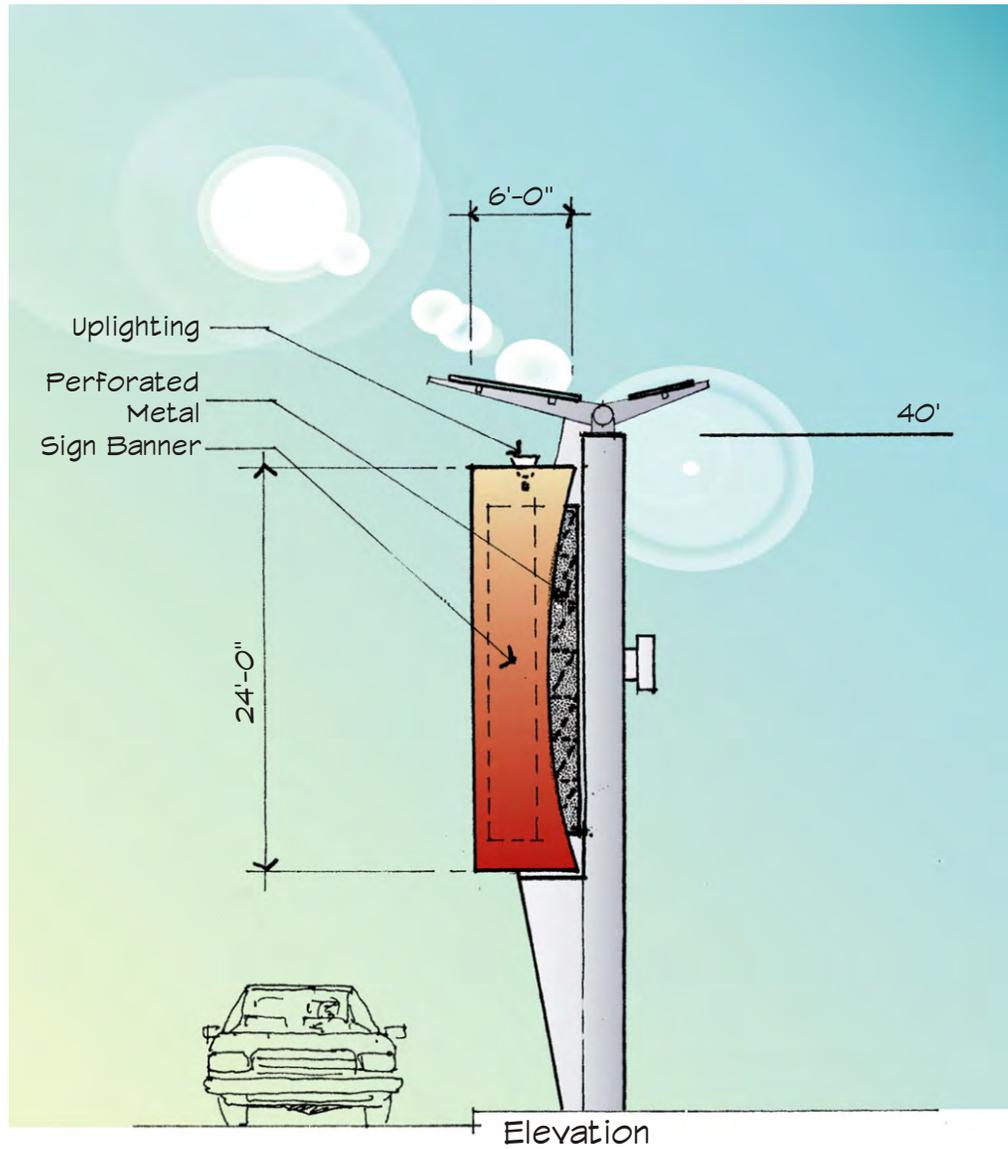


Figure 35  
**Typical Environmental Graphic Sign**

not to scale

Note:  
 See Figure 32 for sign locations.  
 Source: Perkowitz + Ruth Architects



## 2. RESIDENTIAL VILLAGE DISTRICT

The *Residential Village District* of WHITTWOOD TOWN CENTER is based on a unique and compelling design character derived from timeless building principles. The townhomes that result shall be crafted to meet consumer aspirations about an urban “Village” living environment that is enhanced by a vibrant mixed-use town center. The shift in character, compared with “typical” Whittier neighborhoods, will dramatically distinguish the residential component of a redeveloped WHITTWOOD TOWN CENTER within the marketplace and provide added value to builders and homeowners alike. One of the major goals of the architectural design guidelines for the *Residential Village District* is to create more of a “small village” and less of a mass produced feel. This goal shall be achieved through a diversity of style, smooth transitions between townhome structures, and increasing neighborhood landscape and hardscape. In the end, the *Residential Village District* will be more walkable, attractive, safer, encourage neighborhood and pedestrian interaction, and age with elegance and visual richness.

Townhomes are a traditional form of housing where each unit has its own private open space and entrance. Townhomes are attached at their sides, usually in groups of three or more homes. Resident parking and garages are typically set to the rear of units to avoid a series of blank garage doors along the associated street and pedestrian paths. Since there are few side yards and garage doors along the street, townhomes create pleasant and well defined streets and open spaces. By the very nature of the product, attached townhome neighborhoods are much like the “small village” described above and as illustrated conceptually on Figure 36, *Residential Village District – Conceptual Elevations* and Figure 37, *Residential Village District – Vignette*. Each townhome should be designed for compatibility within itself, using a blend of building types, compatible architectural styles, and a balanced palette of colors and materials to avoid clashing and achieve a restful uniformity within each small village.

Where feasible, the following general concepts should be considered when planning for and designing the *Residential Village District*:

1. The site plan and residential structures shall have a strong physical relationship to public areas and pedestrian paths within the community.
2. The site plan shall emphasize pedestrian access and connections to public sidewalks, trails, and community facilities.
3. Structures should be staggered, angled, or otherwise offset to afford a sense of individuality to the townhomes, as well as provide privacy at entries, patios, and balconies.
4. Building architecture shall vary yet be of the same overall architectural theme through the use of complementary design elements.

### a. Building Orientation

1. Where possible, the townhomes should be oriented to streets or pedestrian walkways.
2. Windows for interior living spaces should overlook streets and parking areas.
3. Visual connections from the street to parking areas should be minimized.

### b. Building Massing, Height, and Scale

1. Buildings located adjacent to major vehicular, pedestrian corridors, and open spaces shall be carefully articulated,



Notes:

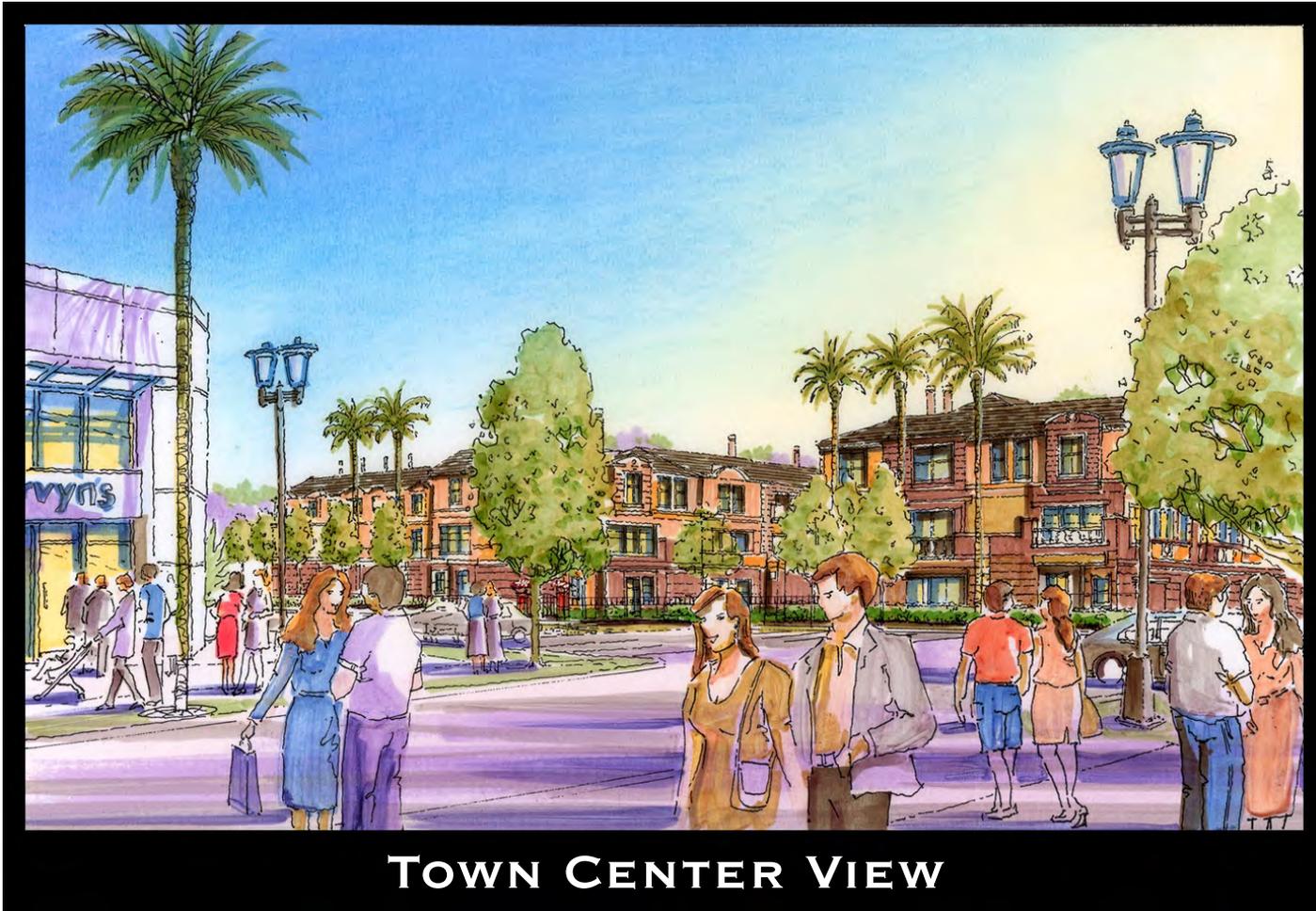
This is a conceptual site design for illustrative purposes only. Individual building designs are typical and based on requirements established by the WHITTWOOD TOWN CENTER design guidelines and development standards. Actual development may vary.

Source: KTG Group, Inc.

Figure 36

## Residential Village District - Conceptual Elevations

**not to scale**



**TOWN CENTER VIEW**

Notes:

This is a conceptual site design for illustrative purposes only. Individual building designs are typical and based on requirements established by the WHITTWOOD TOWN CENTER design guidelines and development standards. Actual development may vary.

Source: KTGy Group, Inc.

Figure 37  
**Residential Village District - Vignette**

not to scale

and large unbroken surfaces shall be discouraged.

1. Varied roof forms shall be encouraged and utilized for the creation of a varied yet cohesive residential design.
2. Where feasible, the use of articulated walls shall be used to create strong shadows and visual interest.
3. Buildings projections and recesses shall be provided on the front façade of each townhome structure.
4. The front wall mass of each unit should be broken-up into two or three planes with a break depth of at least three (3) feet. No required plan should be less than 25 percent of the length of the front wall.
5. Facades of peripheral structures should incorporate one architectural focal element for every 100 feet of individual building length, such as a tall projecting gable element. The spacing of focal points at regular intervals should be avoided by, instead, locating elements asymmetrically, side-by-side, or near a corner element.
6. Facades of peripheral structures should incorporate a deep wall-break or setback for each 100 feet of combined building length with the overall length of the break or setback consisting of at least 40 percent of the total combined length of the street-facing building. The break or setback depth should be at least 10 percent for each 100 feet of the combined building lengths.
7. Emphasis shall be placed on horizontal architectural lines including trim and fascia lines.
8. Multi-story elevations shall be visually broken with offset

stories, changes in materials, architectural banding, or other similar accents, and/or sloping roof lines (including horizontal and vertical planes).

9. Multi-story elevations located adjacent to the southerly property setback shall be consistent with Figure 62, *Residential Village District - Southern Edge Treatment*.
10. Building “ends” and blank, singular planes oriented toward public views shall be minimized.
11. Architectural elements shall be provided on all sides (360 degrees) of buildings.
12. Intended styles should be considered in conjunction with the development of building plans, massing forms, elements, details, and colors.
13. Building massing, details, materials, and colors should be carefully considered in developing an appropriate architectural character for the district.
14. Buildings should be designed to define outdoor spaces, with floor plans that have a logical and functional relationship between indoor spaces and outdoor areas.
15. Provide front porches where style appropriate and possible for stepped massing and transition to public spaces.
16. Building additions and private accessory buildings, as defined by Chapter 18.94, Sec. 040.F, are discouraged. Public accessory buildings, if any and such as recreation area cabanas, restrooms, etc., shall be constructed using architectural styles, colors and forms appropriate and in proportion to that of the residential buildings themselves.

**c. Materials and Colors**

1. Changes in building materials and/or colors are encouraged to help visually break up the massing and scale of multi-story elevations.
2. The color of buildings shall be compatible with and integrate with the materials chosen for the architecture. Accent colors that compliment the designated color scheme may be applied to doors, windows, shutters, trim and special features for visual interest.
3. To promote visual interest, a mixture of cool and warm building materials and roof colors should be incorporated into each townhome structure.
4. Several color schemes shall be provided to promote variation and interest.
5. Clay, concrete, or ceramic tiles that compliment the primary building color(s) shall be used at building entries to create visual focal points.
6. Brick, tile, and stone are encouraged as paving and wall accents. Faux finish materials are not encouraged, but may be used if they are of a high quality.
7. Smooth-textured stucco and plaster shall be used on the exterior of townhome structures.
8. Where wood is used as an architectural trim or element, it should be rough sawn or smooth face stucco.

**d. Roofs and Chimneys**

1. Simple gable or hip roof forms are encouraged. The roof

design should follow the wall planes, and roof pitch should be consistent with the architectural style.

2. Roof overhangs or clipped eaves are encouraged.
3. Cornice banding on parapet walls is encouraged.
4. Large unbroken roof lines are discouraged. Variations in roof line heights and alignments are encouraged.
5. Roofing materials shall be non-flammable (i.e. concrete, clay, and slate tiles).
6. Gable/attic vents should incorporate an integrated, decorative design appropriate to the style. Grouping of vents into architectural elements such as chimneys and dormers is encouraged.
7. Chimneys should be sided with natural stone, masonry or stucco, as is visually appropriate to their function.

**e. Entries and Windows**

1. Deep set openings are encouraged to convey the impression of wall thickness and create strong shadows. Front door surround treatment, including a cover for weather protection, should use decorative trim appropriate to the style, a recess or sidelights.
2. Window pediments, small roof elements, overhangs, and projections over windows, doors, and garage doors are encouraged.
3. Exterior doors shall be decorative and visually interesting. Plain, frosted, and etched glass door panels and sidelines are desirable options.

4. French doors, dormer windows, and decorative shutters are encouraged.
5. A variety of window treatments is encouraged. Window surrounds shall be painted with a different accent color.

**f. Balconies and Porches**

1. Balconies and porches should be used to articulate and reduce mass, as well as provide shadow relief. Where architectural style and density are appropriate, stoops may be used instead of porches.
2. Porches, balconies, and trellis structures shall be compatible with the overall architectural theme, style, and design of the structure. Porches and balconies should be sized appropriately for the architectural style chosen.
3. Arch or column supports of balconies shall be used as entry elements where possible.
4. Balustrades of wood and iron and cylindrical or square columns of stucco or concrete are encouraged and should not exceed four (4) feet.
5. Materials used to construct balconies and porches shall be appropriate to the designated architectural style. Where balconies are proposed, facades shall vary in size and plane.

**g. Details**

1. Potshelves, pilasters, and brick and tile accents are encouraged around doors, windows, and entries, particularly near front and side entries that are easily visible from the street.

2. Low and high walls shall be used to define courtyards, patios, and entries.
3. Mechanical equipment such as gas meters and air conditioning and heating units shall be screened from public view, either by landscaping, fences, and walls, or combination thereof.
4. Rain gutters, flashing, and other architectural elements and trim constructed of sheet metal shall be painted with colors similar to the fascia.
5. Garage doors shall be of complementary colors, textures, and materials used on the front building elevation.

**h. Garages and Driveways**

1. Private drives that serve as alleys, such as in “paseo-type” products also are encouraged. Alley access is required where available and where feasible to accommodate the number of vehicle trips expected. To maximize open space, garages should face onto the alley and be located no further from the alley than is required for adequate vehicle access.
2. The garage door should be recessed at least two feet into the wall of the unit in which it is located. Exterior garage lighting shall be architecturally integrated into soffit above.
3. The combined width of garage doors should not constitute greater than 70 percent of the front or side wall of any unit in which they are located.
4. Garages should not be located along street property lines, but may face private streets or driveways in “paseo-type” products.

5. Main driveways should incorporate no more than one lane in each direction.
6. Guest parking facilities may be located directly off the main driveway. Guest parking facilities should be shaded by a wood or wire trellis structure planted with a creeping vine.
7. All driveways should incorporate an enhanced paving strip consisting of unit pavers or textured/scored concrete at the entrance and at 100 foot-intervals thereafter, of at least 10 feet in width.
8. For multiple-car garages, no garage door should exceed nine (9) feet in width and intervening posts should be at least one (1) foot in width.
9. Use of carports instead of garages is not encouraged. Should carports be constructed, they shall include substantial design elements (i.e. columns, beams, roof design) to convey a more permanent concept. Prefabricated metal carports are not permitted.

## E. LANDSCAPE DESIGN GUIDELINES

### 1. INTRODUCTION

The WHITTWOOD TOWN CENTER Landscape Design Guidelines establish a landscape theme for the mixed-use and high-density residential districts and set forth general criteria for landscaping to enhance the urban “Village” environment. These guidelines consist of a written summary and graphic exhibits, establish criteria for entries, streetscapes, pedestrian focal points, plant palette, and walls and fencing. When implemented, they will serve to create a unifying fabric for WHITTWOOD TOWN CENTER.

The WHITTWOOD TOWN CENTER landscaping theme is driven by the desire to create an identifiable sense of place within the site and will assist tremendously in providing a revitalized addition to the Whittier community. Landscape and streetscape elements will be used to create visual continuity throughout WHITTWOOD TOWN CENTER. Village elements such as entries, streetscapes, and walls and fences will establish a design theme for the town center by reinforcing the design hierarchy and by providing visual gateways. These features are created through a thematic blend of landscape, hardscape, and planting elements.

The *Conceptual Landscaping Plan*, Figure 38, for WHITTWOOD TOWN CENTER calls for a compatible plant palette of trees, shrubs, and ground covers. Careful thought has been given to integrate the structural and aesthetic elements of a balanced, active town center. Once a particular plant or plant combination is used for a particular application, it shall be repeated in similar areas of the community to reinforce a sense of cohesion within the development. Landscape design shall not, however, result in monotony or lack of variety or biological diversity. The following is a description of landscape elements for the overall project area and each district within WHITTWOOD TOWN CENTER. These elements shall be detailed at the submittal of tentative map, site

development plan, or other discretionary permit for each area of development. The landscape design is based on the vision and goals of the WHITTWOOD TOWN CENTER Specific Plan.

### 2. STREETSCAPES

Roadway streetscapes adjacent to WHITTWOOD TOWN CENTER are critical in maintaining the perception, unification, and quality of the mixed-use development. Landscaping of perimeter and internal streets will provide continuity throughout the project and create an appropriate connection with adjacent areas. Street trees and groundcover should reflect the project’s design theme and be selected from the project’s plant palette. Street tree placement and design may include a single street tree used along all the streets in a neighborhood or may include a dominant street tree along with accent street trees used at strategic points along the street, such as clustered at intersections or at curves to break up long uninterrupted lines. Landscaping of Whittier Boulevard, Santa Gertrudes, and Scott Avenue will establish the main planting theme for WHITTWOOD TOWN CENTER. The redevelopment plan for WHITTWOOD TOWN CENTER will strongly encourage landscaping and hardscape within and adjacent to the site that is sensitive to the needs of the pedestrian. Vehicle considerations are also recognized, striking a balance between the needs of both the pedestrian and the automobile.

#### a. Whittier Boulevard

Whittier Boulevard forms the northern boundary of the project site and runs in an east-west alignment. As a part of the WHITTWOOD TOWN CENTER Specific Plan, the southerly right-of-way will be improved along the project frontage. A combination of planting schemes will make up the Whittier Boulevard streetscape as illustrated on Figure 39,



Notes:

This is a conceptual site design for illustrative purposes only. Individual building designs are typical and based on requirements established by the WHITTWOOD TOWN CENTER design guidelines and development standards. Actual development may vary.

Source: EPT Design

Figure 38  
**Conceptual Landscape Plan**

 not to scale

*Whittier Boulevard Streetscape.* The streetscape will contain a 6-foot non-meandering sidewalk and where feasible, an adjacent landscaping edge planted with turf, low shrubs, and canopy trees. The variable width landscaping edge, which slopes southerly into the project site, will be enhanced as a part of the redevelopment and will serve to welcome visitors into a revitalized WHITTWOOD TOWN CENTER. The predominant style of the landscape edge will be a composition of the Whittier Boulevard Revitalization Master Plan guidelines, renovation of existing vegetation, and a new plant palette for WHITTWOOD TOWN CENTER. The City of Whittier will be responsible for improvements to the existing 14-foot center median and roadway resurfacing as a part of the Whittier Boulevard Revitalization Master Plan.

## b. Santa Gertrudes Avenue

Santa Gertrudes Avenue forms the eastern boundary of the project site and runs in a north-south alignment. As a part of the WHITTWOOD TOWN CENTER Specific Plan, the westerly right-of-way will be improved along the project frontage. A combination of planting schemes will make up the Santa Gertrudes Avenue streetscape as illustrated on Figure 40, *Santa Gertrudes Avenue Streetscape*. The streetscape will contain a 5-foot non-meandering sidewalk within a variable width landscape parkway planted with turf, low shrubs, and canopy trees. Although the Santa Gertrudes Avenue streetscape is secondary to Whittier Boulevard, it is equally important for project identification and is highlighted by a formally lined row of large canopy trees. Proposed renovation of plant materials and potential retention of the existing landscape is a key to reestablishing a project identity for this eastern edge and guides pedestrians and vehicles into WHITTWOOD TOWN CENTER.

## c. Scott Avenue

Scott Avenue forms the western boundary of the project site and runs in a north-south alignment. As a part of the WHITTWOOD TOWN CENTER

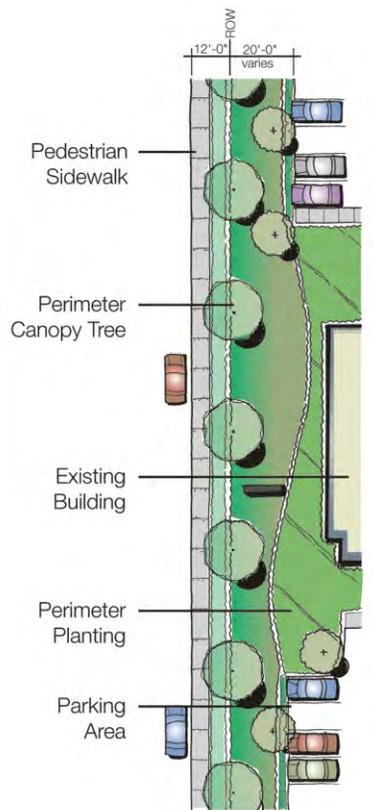
Specific Plan, the easterly right-of-way will be improved along the project frontage. A combination of planting schemes will make up the Scott Avenue streetscape as illustrated on Figure 41, *Scott Avenue Streetscape*. The streetscape will contain a 5-foot non-meandering sidewalk and an adjacent 4-foot landscape parkway planted with turf, low shrubs, and trees. The Scott Avenue streetscape will provide a backdrop for the residential component of WHITTWOOD TOWN CENTER and will be lined with canopy trees and associated groundcover adjacent to a Village Theme Wall to buffer the residences located on this edge.

## d. Whittwood Parkway

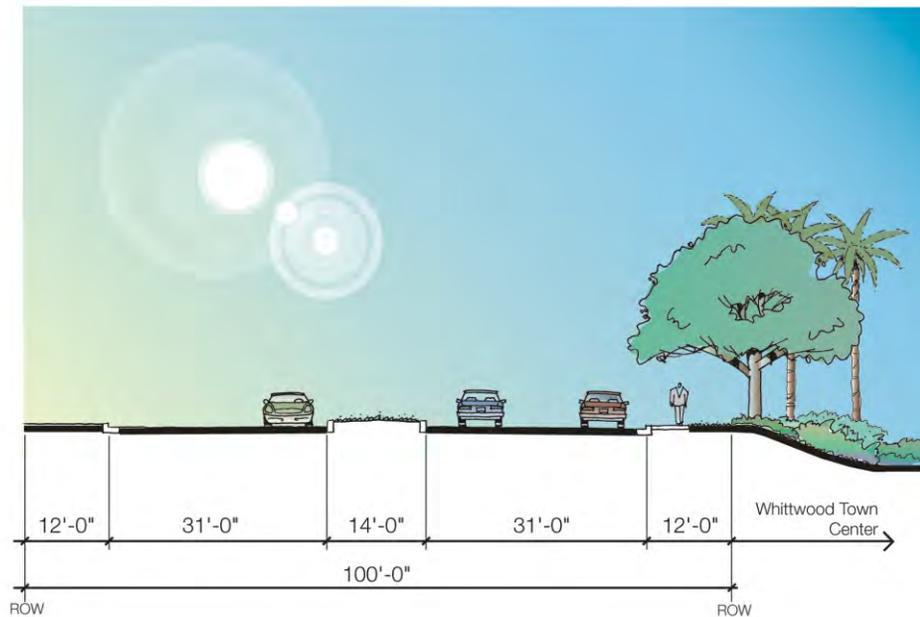
*Whittwood Parkway* was designed with the intent of creating a vital east-west circulation element that brings pedestrian activity along Whittier Boulevard to a new “boulevard” within WHITTWOOD TOWN CENTER. *Whittwood Parkway* bisects the upper and lower portions of the site and will act as the visual link between the various districts of WHITTWOOD TOWN CENTER. Landscape and hardscape elements along *Whittwood Parkway* set the stage for major pedestrian focal nodes and vehicular movement and are complimented by a tree-lined parkway, enhanced focal entry nodes, and environmental graphic signs, as illustrated on 42, *Whittwood Parkway Streetscape*.

## 3. ENTRY MONUMENTATION

Entry monuments serve several important purposes and careful consideration has been given to the design of project entries. The intent of project monumentation design is to create visual gateways into WHITTWOOD TOWN CENTER and to provide aesthetically pleasing entry statements that highlight the distinctiveness of the urban “Village” environment. Entry monumentation within WHITTWOOD TOWN CENTER establishes the design theme for the mixed-use districts by reinforcing the design hierarchy and creating a thematic blend of hardscape and planting elements. Locations of entries and landscape and hardscape elements proposed for WHITTWOOD TOWN CENTER and individual



Whittier Boulevard Plan



Whittier Boulevard Section

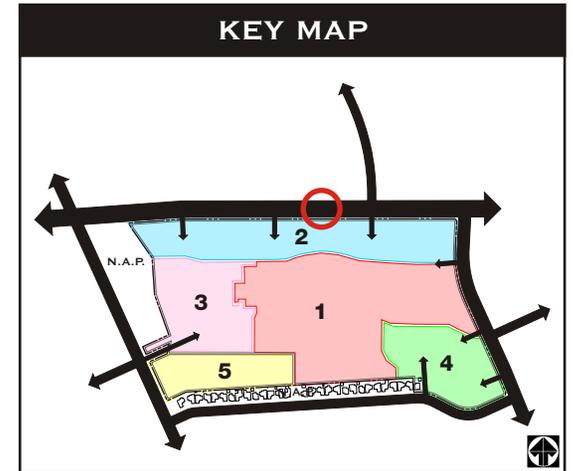
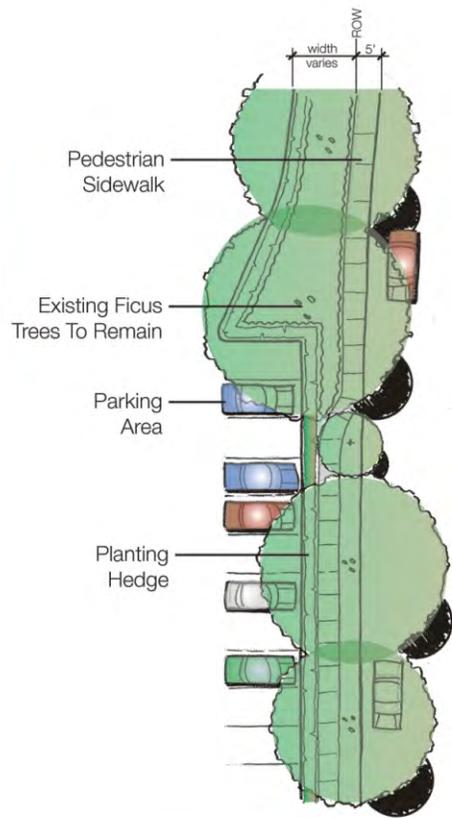


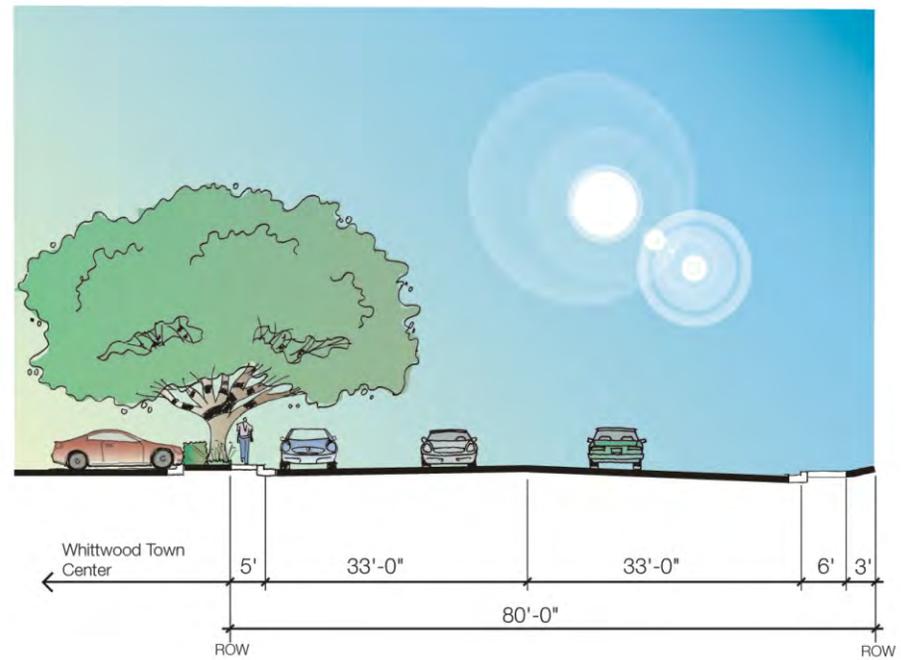
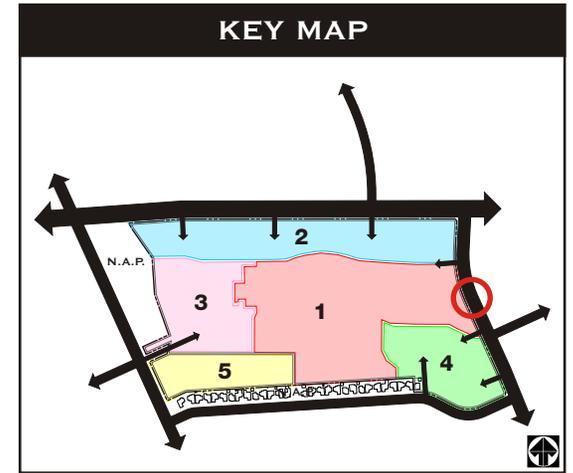
Figure 39  
**Whittier Boulevard Streetscape**

not to scale

Source: EPT Design



Santa Gertrudes Street Plan



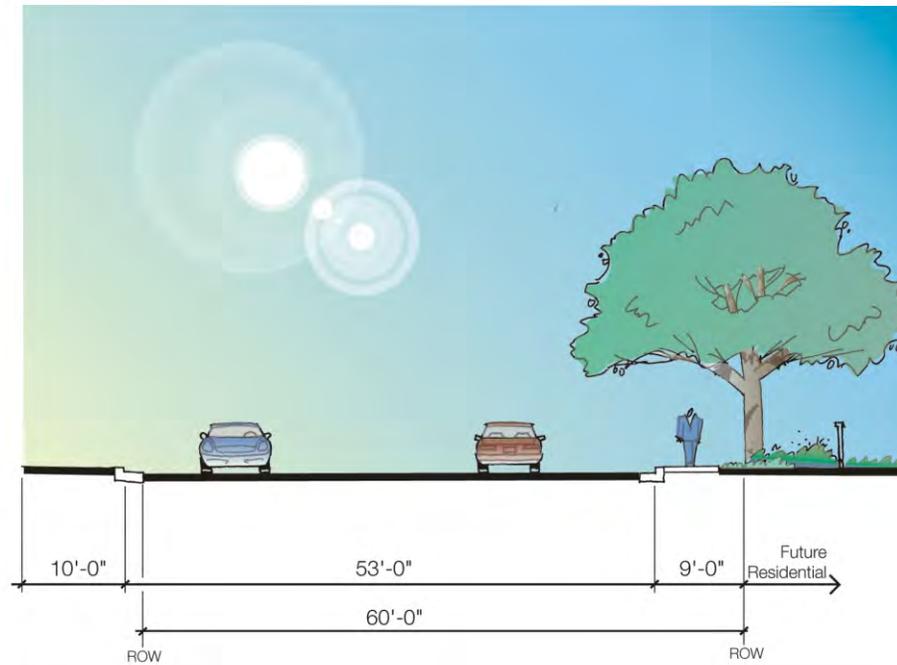
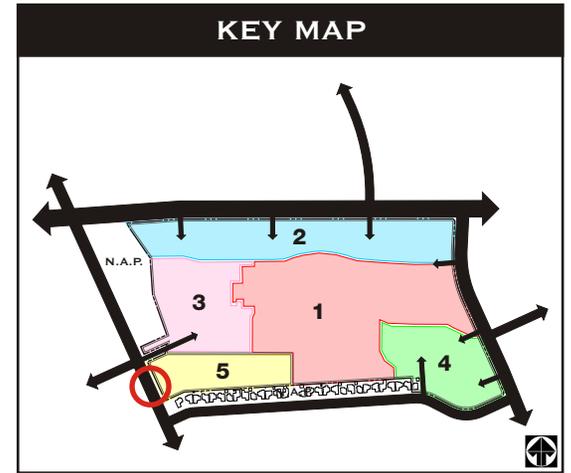
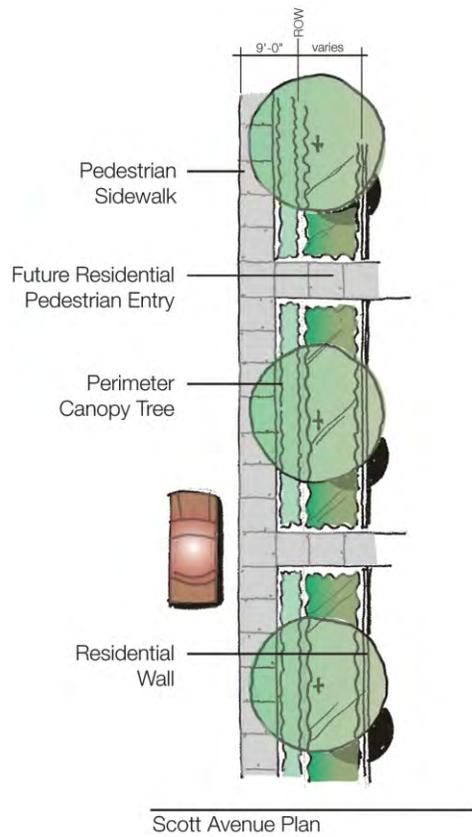
Santa Gertrudes Street Section

Figure 40

## Santa Gertrudes Avenue Streetscape

not to scale

Source: EPT Design



Scott Avenue Section

Figure 41  
**Scott Avenue Streetscape**

not to scale

Source: EPT Design

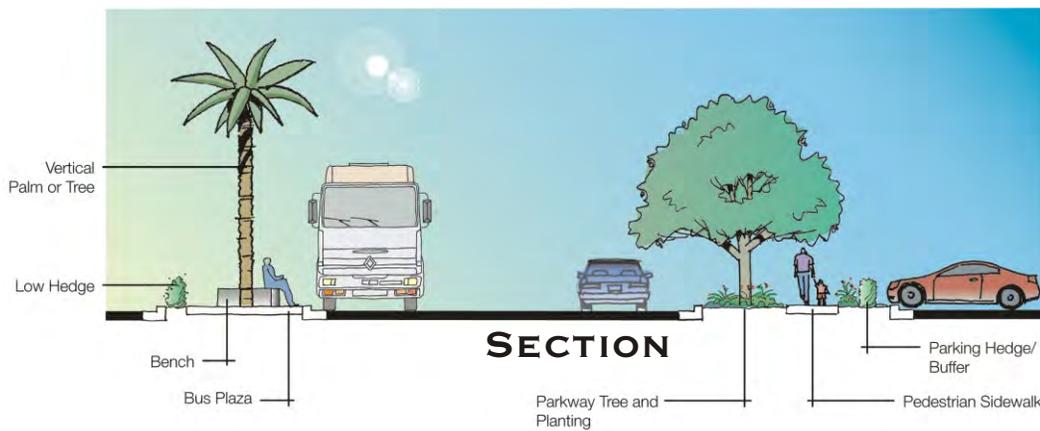
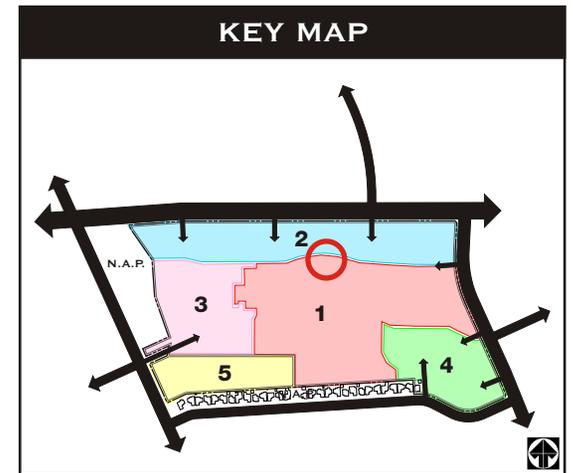
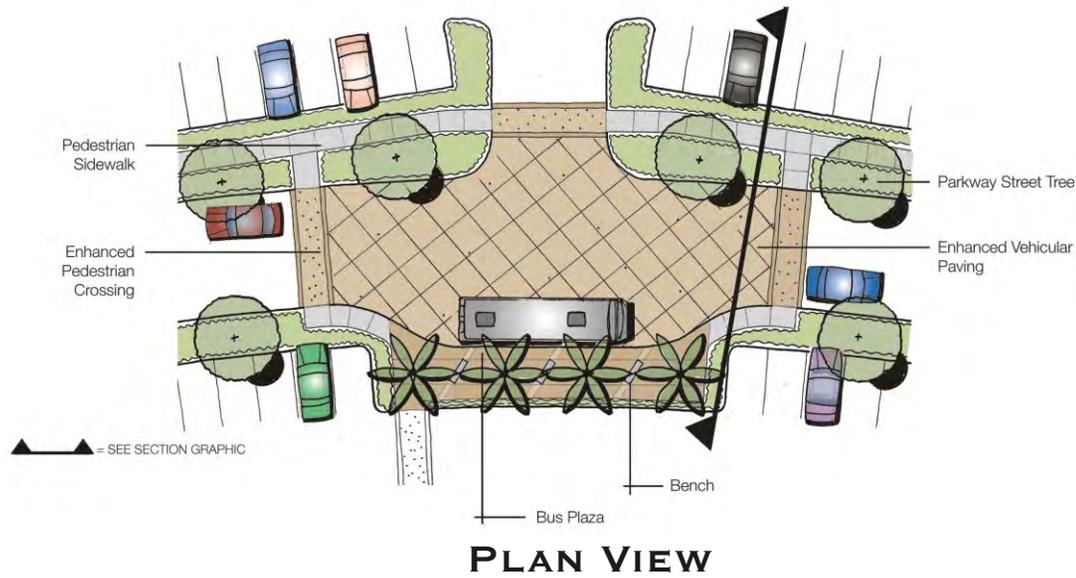


Figure 42  
**Whittwood Parkway Streetscape**

not to scale

Source: EPT Design

districts within the Specific Plan are depicted in Figure 38, *Conceptual Landscape Plan*.

The WHITTWOOD TOWN CENTER Specific Plan provides for entries in areas that will define a more intimate and related grouping of uses and districts. Each entry monument setting is site specific and is comprised of a blending of construction features, signage, and landscape and hardscape which enhances the overall urban “Village” theme of WHITTWOOD TOWN CENTER. One of the difficulties in creating a more walkable and pedestrian-oriented design is the concern over safety and vehicular circulation. Many of the streets and entries surrounding the project are not safe to walk on because they are designed solely to move motor vehicles in large volumes and at high speeds. As a result, the WHITTWOOD TOWN CENTER redevelopment plan addresses this issue by providing designated pedestrian entries from Whittier Boulevard designed to separate vehicles entering the site from the highly traveled thoroughfare. Furthermore, pedestrian and vehicular circulation elements are split in many instances to create comfortable experiences for both users.

Entry monumentation will be established within the WHITTWOOD TOWN CENTER redevelopment project at Whittier Boulevard, Santa Gertrudes Avenue, and Scott Avenue. Described below are the landscape and hardscape designs envisioned for the primary and secondary project entries within the WHITTWOOD TOWN CENTER redevelopment.

### **a. Primary Entry Monumentation**

Four primary entries are envisioned for WHITTWOOD TOWN CENTER and have been distributed throughout the site, including Whittier Boulevard, Scott Avenue/Cullen Street, and Santa Gertrudes Avenue – all of which are located at traffic signals. These primary entry treatments, as illustrated on Figure 43, 44, 45, and 46, establish the character for development within WHITTWOOD TOWN CENTER, emulates the unique landscape theme required to facilitate an urban “Village”

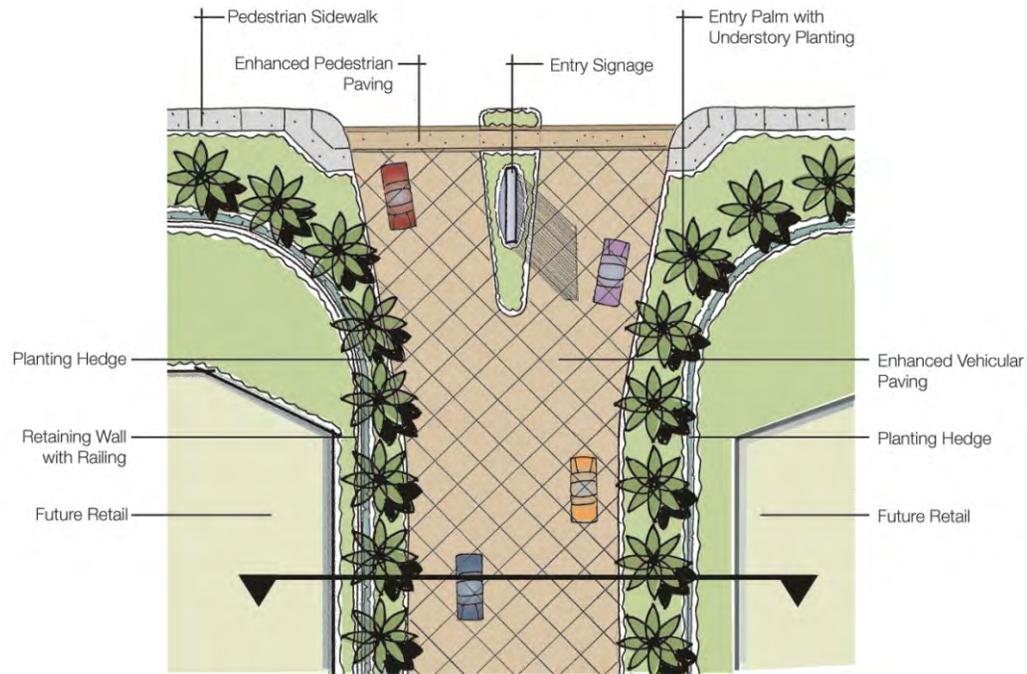
environment, and provides a strong landmark which reinforces the distinctiveness of the town center. These focal entry points are intended to utilize landscape and hardscape materials which contribute to the consistent implementation of the WHITTWOOD TOWN CENTER design theme. Large scale landmark features and elements such as large specimen plant materials and sculptures will be used to identify primary entries and lead visitors toward the heart of the site.

### **b. Secondary Entry Monumentation**

Secondary entries occur where traffic signals are absent, including the additional centrally located entrance at Whittier Boulevard, two existing entrances on Santa Gertrudes Avenue, and a southern entrance located at Starbuck Street. Secondary entry treatments, as conceptually presented on Figure 47 and 48, will convey the overall urban “Village” identity of WHITTWOOD TOWN CENTER by selectively repeating the plant palette and theme used at primary entries, but at a less intense scale. No major improvements are proposed for the secondary entries located at Santa Gertrudes Avenue adjacent to the recently built Vons and the southern entrance located at Starbuck Street.

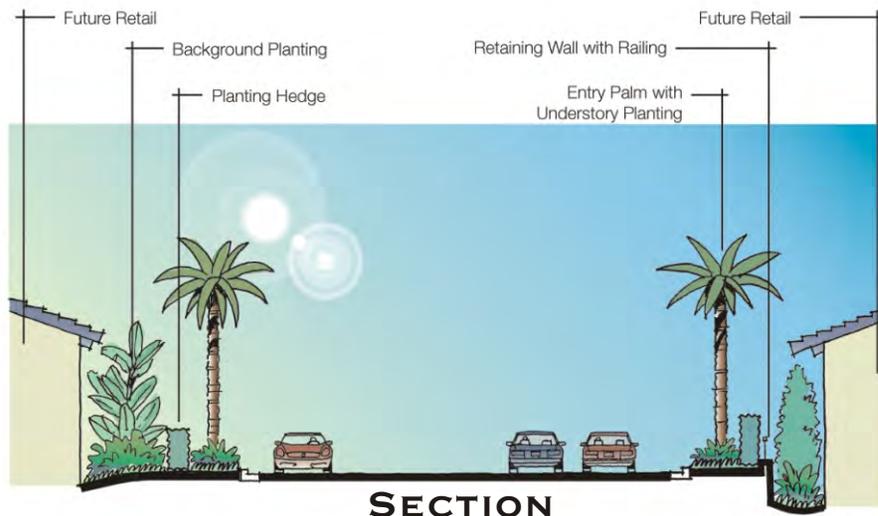
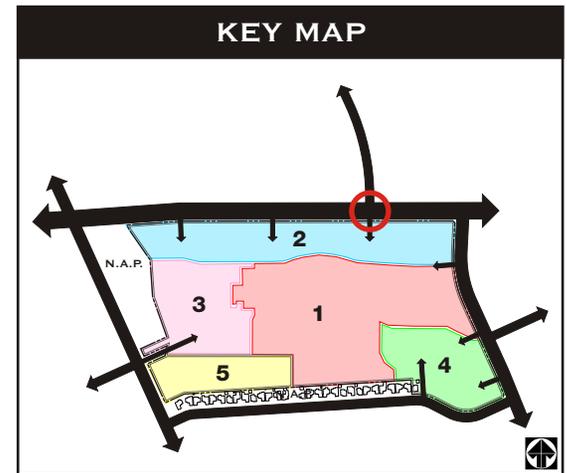
### **c. Focal Entry Nodes & Surface Parking Landscape**

Enhanced focal entry nodes and surface parking landscape treatments will be located throughout the project site to help create a sense of arrival into the various districts of WHITTWOOD TOWN CENTER (see Figure 49, *Focal Entry Node*). Major elements of these focal entry nodes and surface parking treatments include thematic paving, strategic placement and use of landscape and hardscape, and public art to invite visitors to enjoy the shops, restaurants, and pedestrian areas of a revitalized WHITTWOOD TOWN CENTER and urban “Village” experience. The focal entry nodes will work in concert with the surface parking landscape treatments, which together will promote visual interest and identity for the town center (see Figure 50, *Surface Parking Landscape Treatments*).



▲ = SEE SECTION GRAPHIC

**PLAN VIEW**

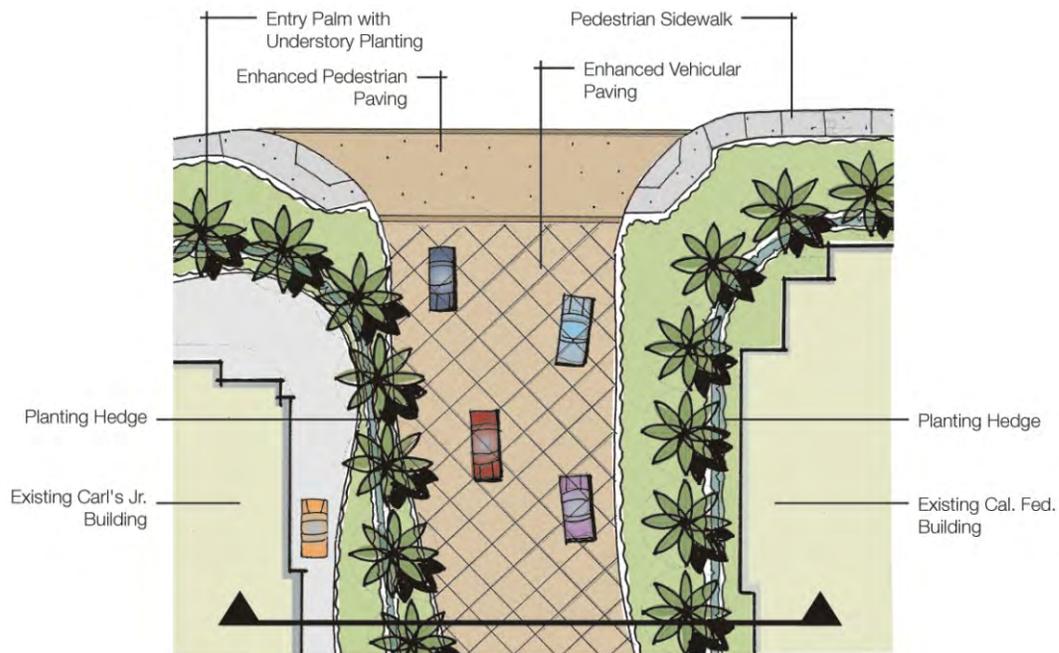


**SECTION**

Figure 43  
**Whittier Boulevard  
 Primary Entry Treatment - East**

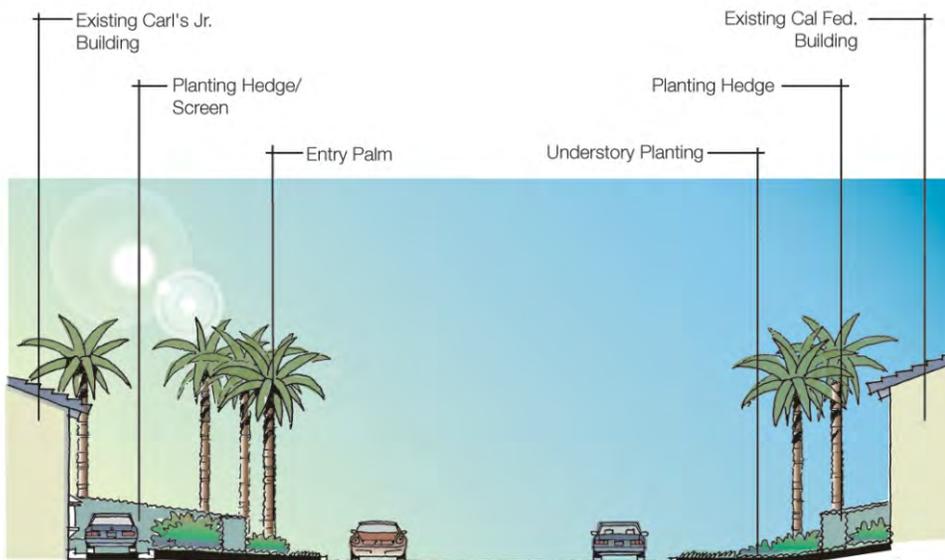
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Source: EPT Design



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**PLAN VIEW**



**SECTION**

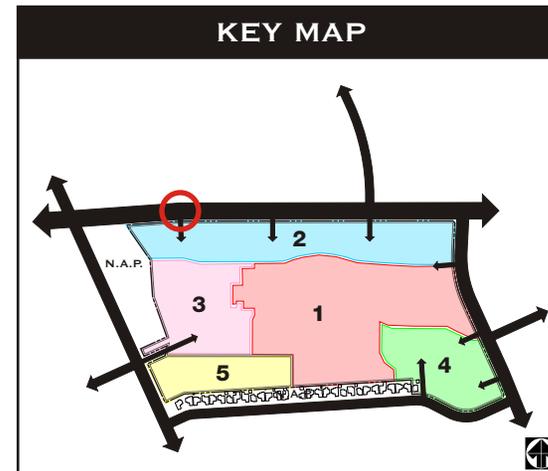
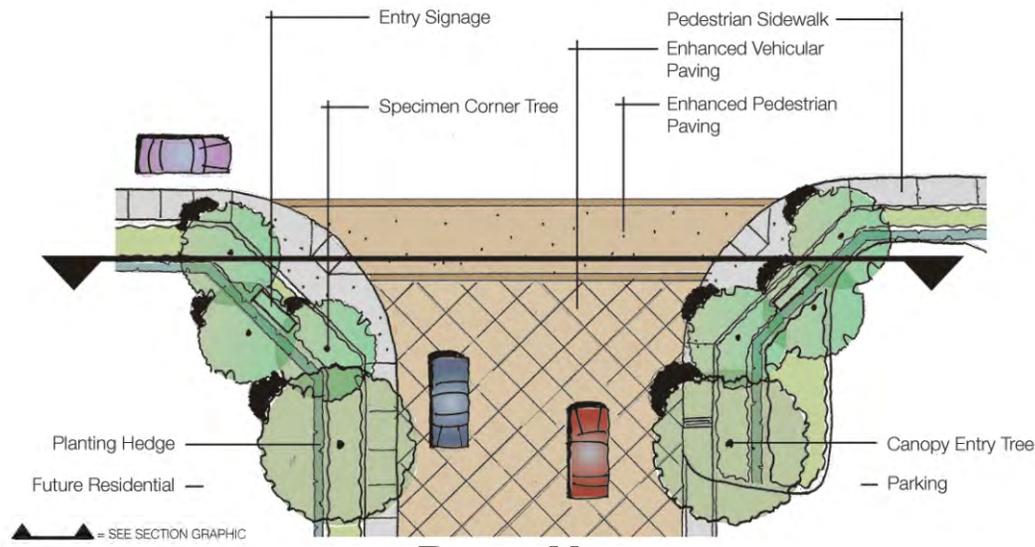


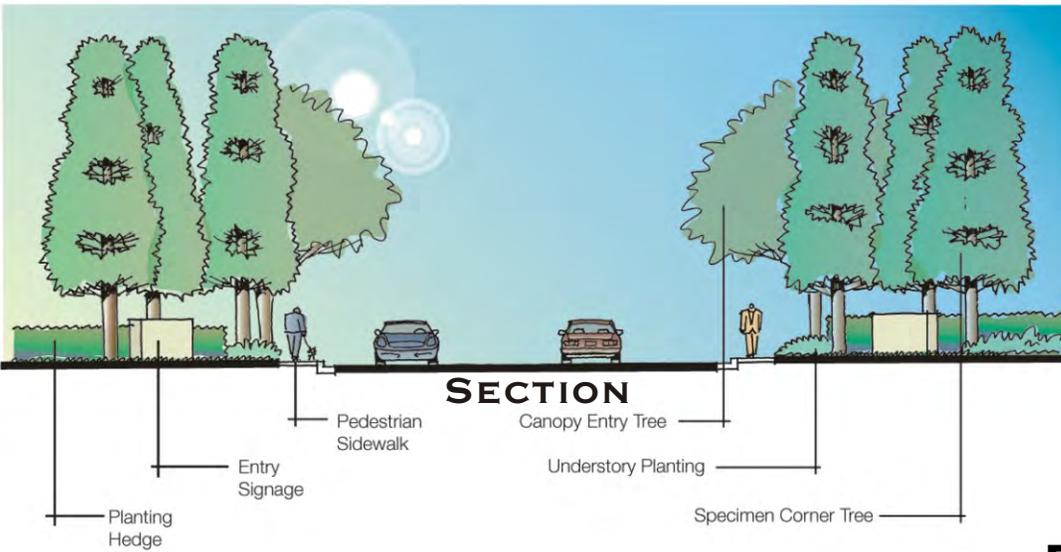
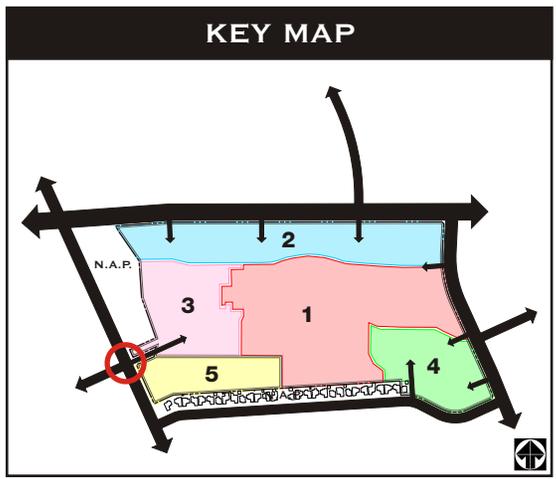
Figure 44  
**Whittier Boulevard  
 Primary Entry Treatment - West**

not to scale

Source: EPT Design



**PLAN VIEW**



**SECTION**

Figure 45  
**Scott Avenue**  
**Primary Entry Treatment**

not to scale

Source: EPT Design

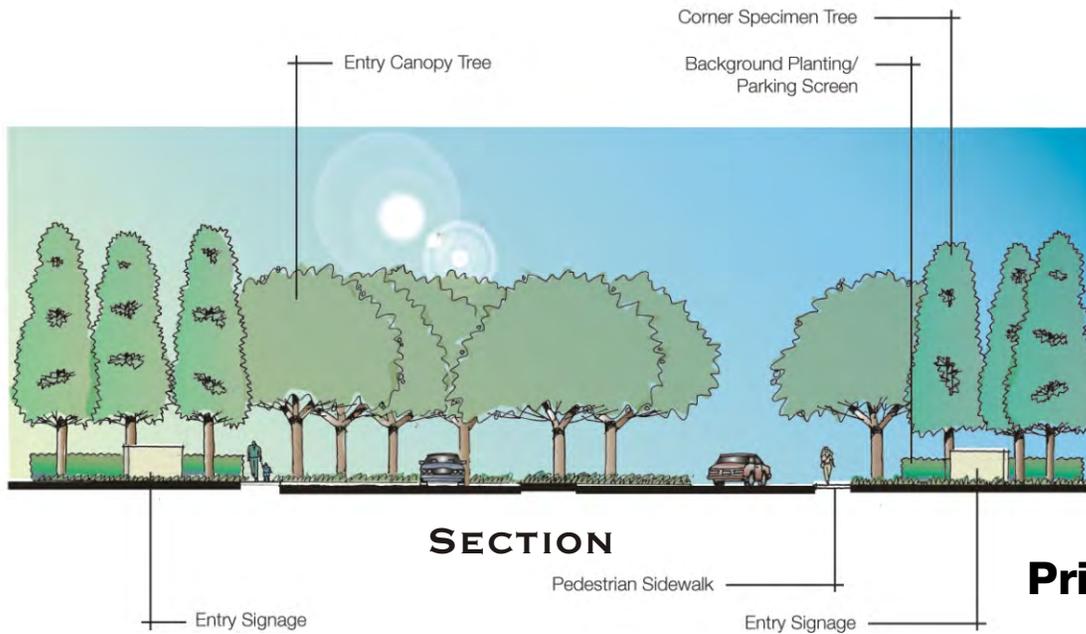
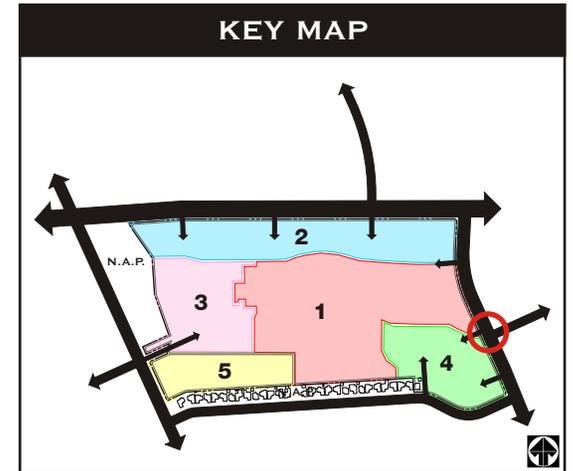
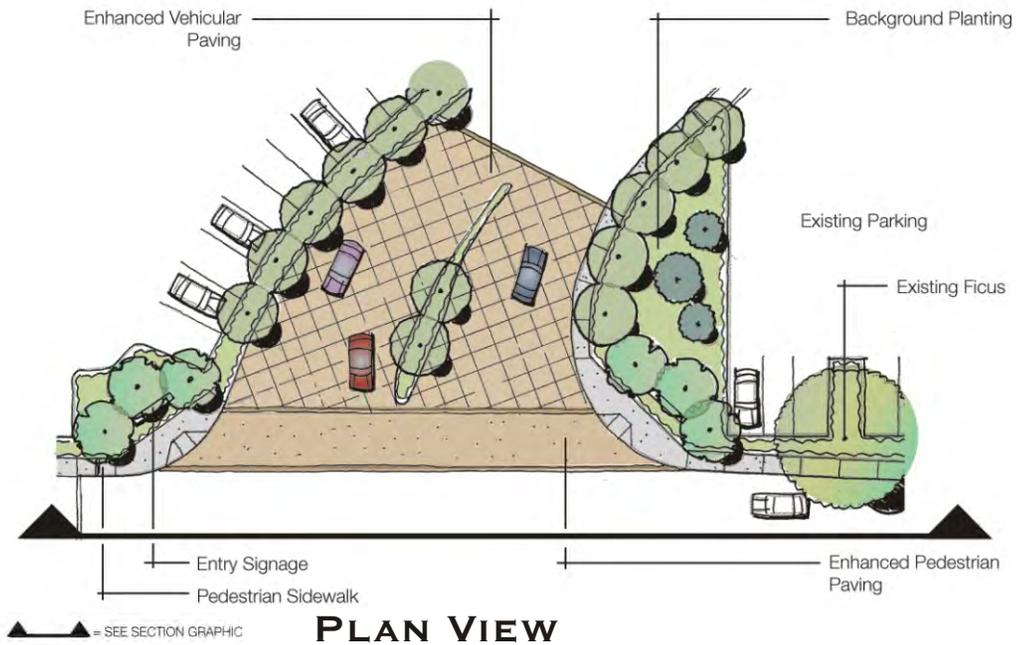
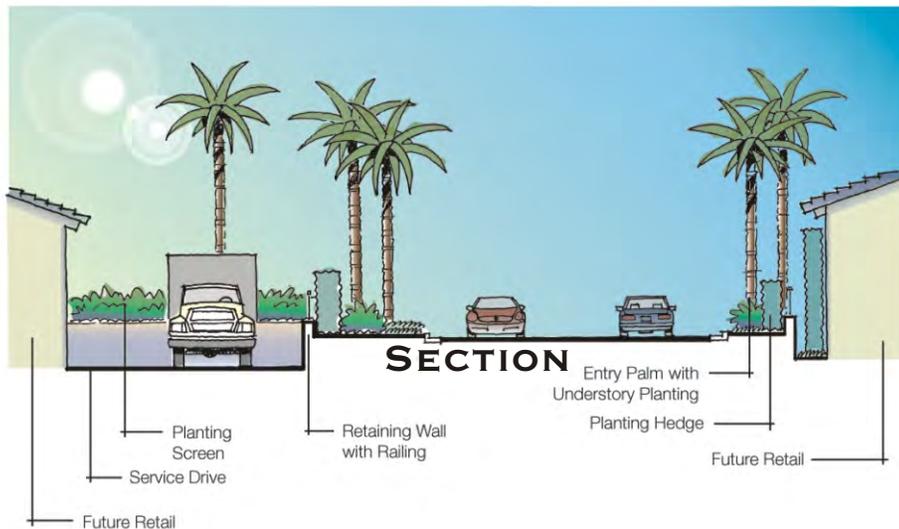
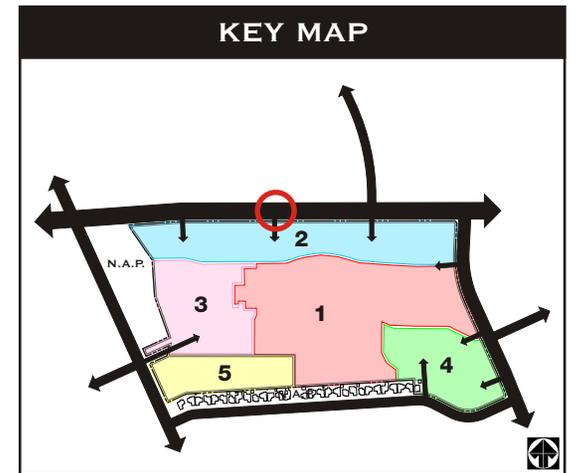
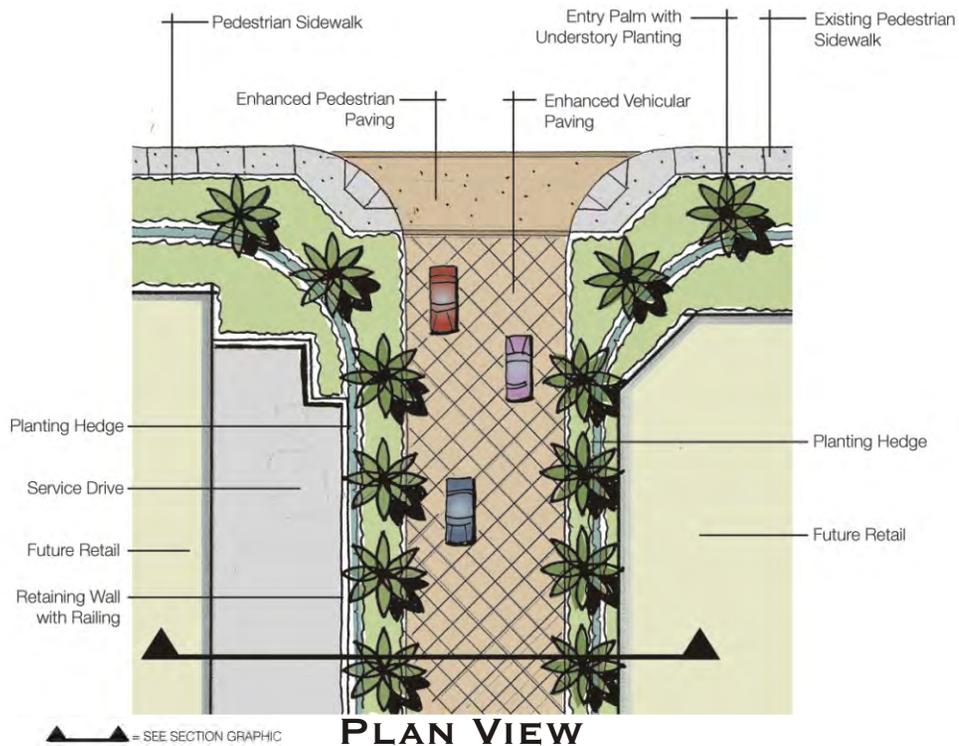


Figure 46  
**Santa Gertrudes Avenue  
 Primary Entry Treatment - Central**

not to scale

Source: EPT Design



Source: EPT Design

Figure 47  
**Whittier Boulevard**  
**Secondary Entry Treatment - Central**

not to scale

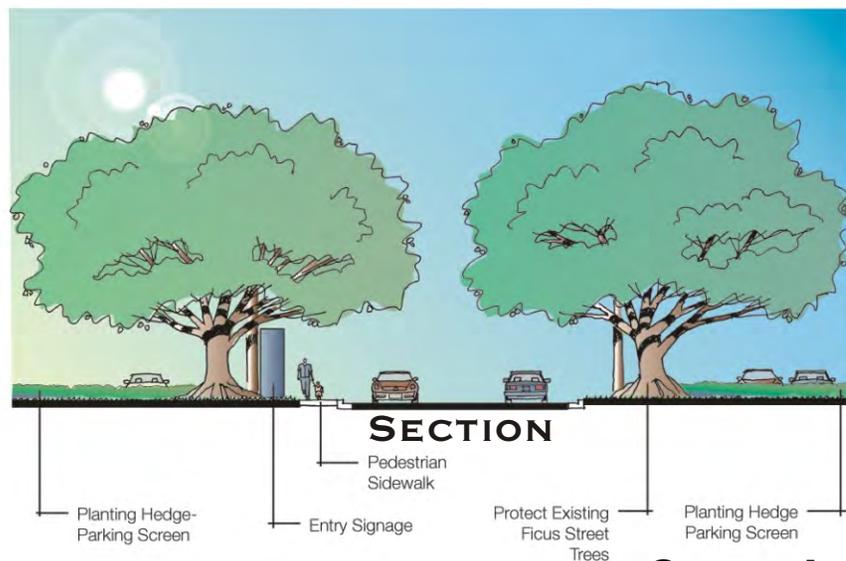
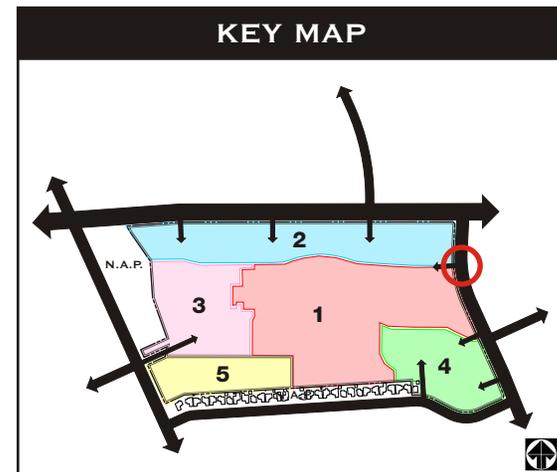
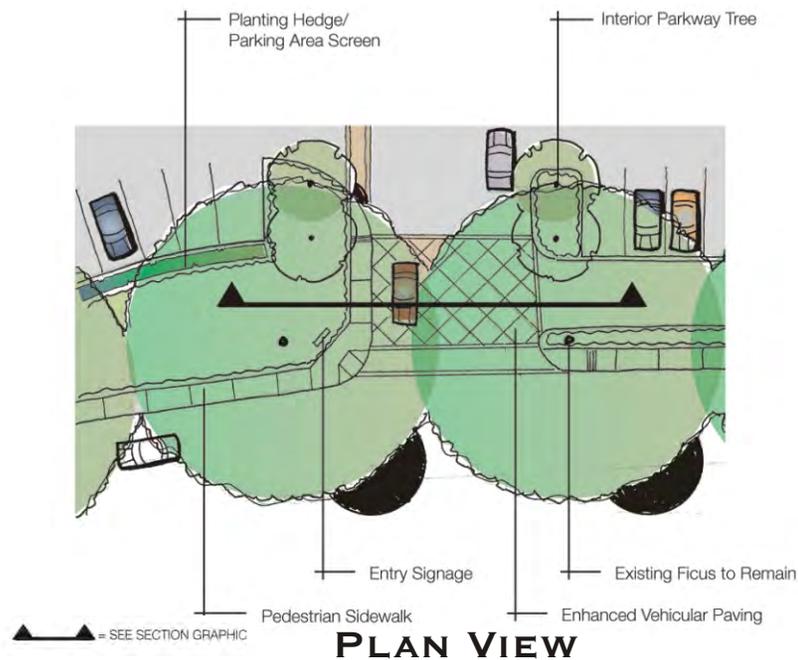


Figure 48  
**Santa Gertrudes Avenue  
 Secondary Entry Treatment - North**

not to scale

Source: EPT Design

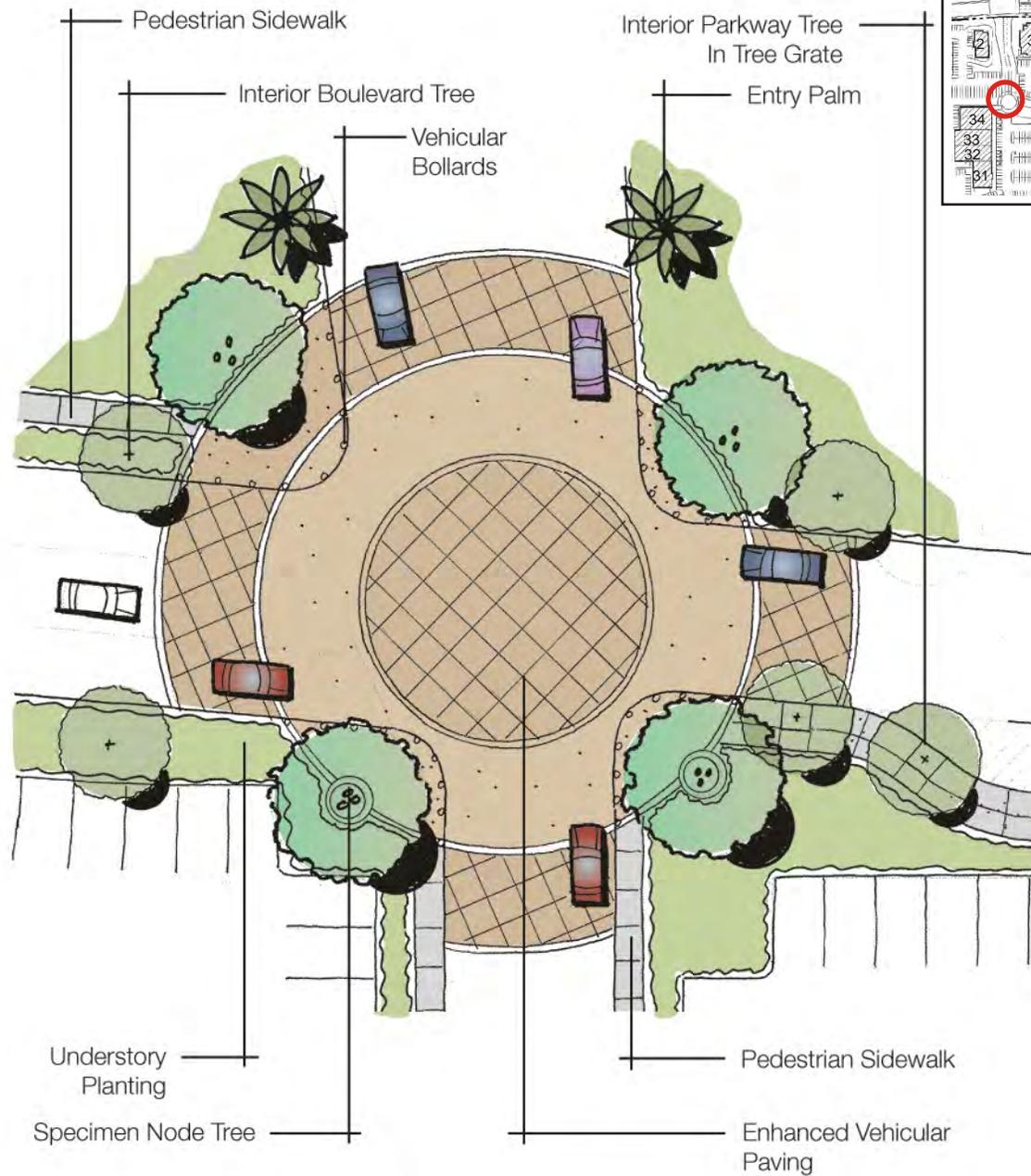
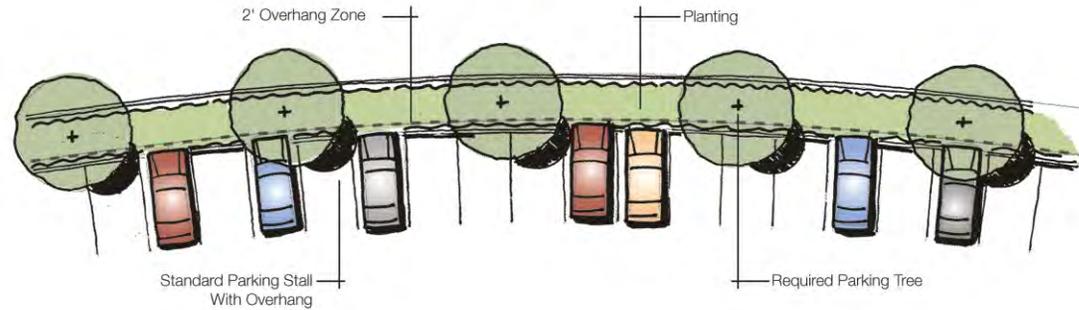


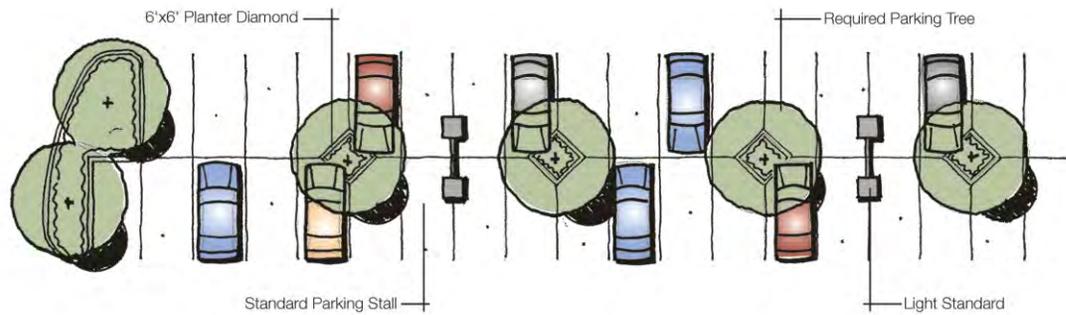
Figure 49  
**Focal Entry Node**

not to scale

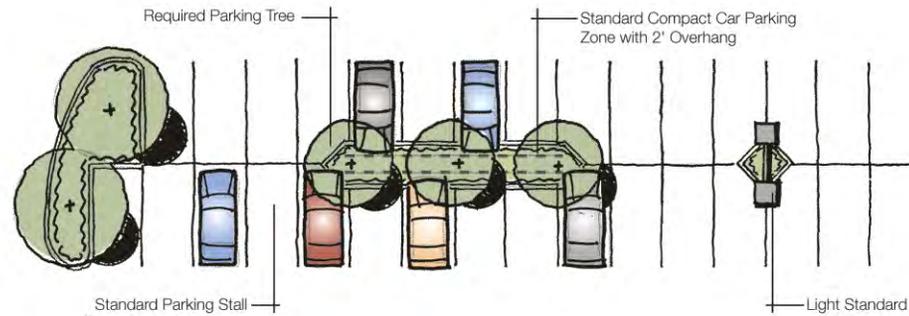
Source: EPT Design



### TYPICAL WHITTWOOD PARKWAY SURFACE PARKING



### TYPICAL SURFACE PARKING



### TYPICAL COMPACT SURFACE PARKING

Figure 50  
**Surface Parking Landscape Treatments**

not to scale

Source: EPT Design

## 4. MIXED-USE DISTRICT THEMES

### a. *Major Retail District*

The *Major Retail District* is the visual and retail focal point of the WHITTWOOD TOWN CENTER redevelopment. A vibrant landscape design establishes the tone for creating the urban “Village” environment envisioned for WHITTWOOD TOWN CENTER. Vertical landscape elements and pedestrian-oriented design is the primary design theme throughout the *Major Retail District* and is enhanced by an increasing thematic emphasis and layering of materials. Vertical plant material will be applied throughout this district to create a memorable skyline and compliment the various architectural styles within WHITTWOOD TOWN CENTER. Major elements of this district include vital internal circulation and surface parking landscaping and integration of pedestrian zones.

### b. *Whittier Boulevard District*

The *Whittier Boulevard District* is a continuation of the Whittier Boulevard edge and will provide a variety of uses, including restaurant, commercial-retail, and service-oriented uses. It is necessary to provide a common identity and structure for this district through plant material, pedestrian circulation, and colorful way-finding elements. The *Whittier Boulevard District* acts as the backdrop of WHITTWOOD TOWN CENTER from the City’s most heavily traveled thoroughfare. Primary project identification from Whittier Boulevard will be enhanced by the use of vibrant plant material, ground cover, and canopy trees. Major elements of this district include strong massing, screening, and highlighting views of adjacent districts within WHITTWOOD TOWN CENTER.

### c. *Village Service District*

The *Village Service District* offers a collection of service-oriented uses and encourages integration of these uses with the future and existing

residences located to the south and *Major Retail District* to the east. Clearly defined access is crucial to integrate these various elements and will be accomplished through the use of a strong hardscape and landscape application. Major landscape and hardscape elements of this district include fine textured plants, enhanced pavement patterning, and exciting plant applications to highlight architectural facades.

### d. *Village Plaza District*

The *Village Plaza District* will add a food court, smaller retail/service operations, public gathering places, and plazas and will be a highly traveled pedestrian corridor. Landscape and hardscape applications within this district will focus on the pedestrian and will blend a newly renovated parking zone for the southeast portion of the development. The blending of existing landscape elements with future development is vital in establishing consistency from WHITTWOOD TOWN CENTER’S eastern entries and recently built Vons and adjacent commercial-retail pads.

## 5. PEDESTRIAN FOCAL POINTS AND AMENITIES

Recent trends in development, suburban growth, and urban revitalization have led to the increasing use of pedestrian-oriented design as an effective land use planning tool to create urbanized “Villages” like WHITTWOOD TOWN CENTER. In conceiving a redevelopment plan for WHITTWOOD TOWN CENTER, one of the primary goals was to create a pedestrian-oriented urban “Village” environment that is walkable and inviting. The redeveloped WHITTWOOD TOWN CENTER will not be just another group of stores behind large parking lots, but rather a revitalized town center that provides pedestrian comfort and accessibility between districts and captures the lifestyle and

imagination of today’s consumer. This goal is to be achieved by the strategic placement of pedestrian focal points, entries, and amenities dispersed throughout the project site. Additionally, an interconnected network of internal circulation elements and pedestrian paths shaped by a cohesive landscape and enhanced hardscape knit this revitalized mixed-use development together (see Figure 51, *Enhanced Hardscape – Materials and Colors Palette*).

The pedestrian-friendly infrastructure within WHITTWOOD TOWN CENTER helps to promote a sense of place and an urban “Village” experience that is a joy to walk and share with friends and family. The numerous pedestrian focal nodes and amenities facilitate an environment conducive to social interaction and exchange and provide essential qualities required to support the goals of a vitalized mixed-use urban development. The encouragement of human activity throughout the town center and activating of pedestrian paths is paramount to the success of WHITTWOOD TOWN CENTER. By improving upon the basic framework already in place, an identifiable sense of place and positive image will be created for WHITTWOOD TOWN CENTER and the Whittier community in a manner that provides richness and builds character. The pedestrian focal nodes summarized and detailed on subsequent pages are conceptual in nature and provide a general framework of likely development within these areas. Actual development may potentially vary and will be determined at the Final Tentative Tract Map stage as detailed and discussed in Section V, *Implementation*.

## **a. Village Green**

The Village Green will be located in the northeast corner of the *Village Service District*, adjacent to the existing sears, and will serve as WHITTWOOD TOWN CENTER’S major green area. The Village Green is envisioned as a classic open space that provides an area to retreat from the retail scene and ample opportunities for people to gather, interact, and relax. A multi-purpose lawn area will encompass a large focal tree, lush landscape, active pavement patterning, exciting hardscape, and tiered seating to give a small informal “amphitheatre” type environment

(see Figure 52, *Village Green*). The Village Green also will provide a location for small scale entertainment and theatrical performances, which will be a welcomed addition to WHITTWOOD TOWN CENTER and its visitors and residents.

## **b. Festival Paseo**

The Festival Paseo will be constructed between the existing Sears and Mervyn’s and will provide a pedestrian-scaled corridor with ample shade and seating, outdoor retail opportunities, enhanced landscape, and street furniture that invites shoppers and visitors to enjoy programmed events within WHITTWOOD TOWN CENTER. The Festival Paseo will provide another place for pedestrian interaction and gathering within the site. Whether it is Santa’s Workshop or vendor kiosks, year-round activity will provide this space with excitement. Major elements within the Festival Paseo include an enhanced hardscape theme, fountain, public art, kiosks, removable bollards, and a vibrant landscape utilizing vertical features, which together will create an active pedestrian-oriented environment (see Figure 53, *Festival Paseo*).

## **c. Parkway Plaza**

The Parkway Plaza will facilitate pedestrian activity along and within the *Whittier Boulevard District* and adjacent districts. The Parkway Plaza will offer opportunities for outdoor seating and dining areas, fountain and possible kiosks, and a lush landscape working in concert with the Whittier Boulevard edge (see Figure 54, *Parkway Plaza*). As a major goal of the *Whittier Boulevard District*, the Parkway Plaza emphasizes the central core and has been designed to attract pedestrians along Whittier Boulevard into a more urbanized “Village” environment within WHITTWOOD TOWN CENTER.

## **d. Marketplace Plaza**

The Marketplace Plaza will provide an activity connection from the *Major Retail District* and *Village Plaza District* where a newly added



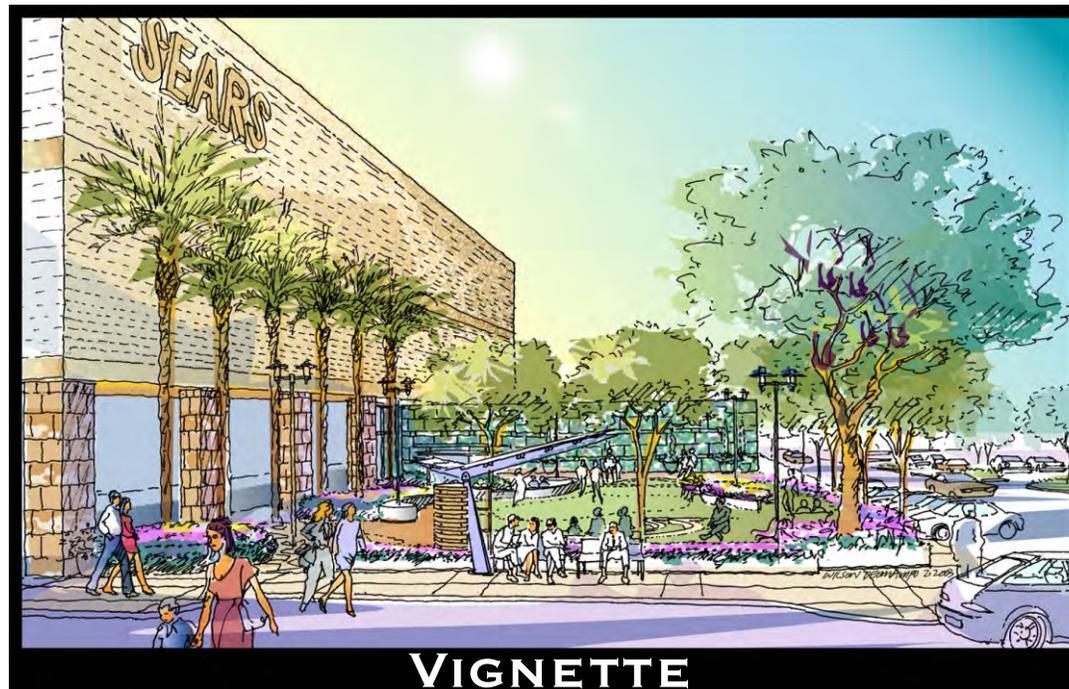
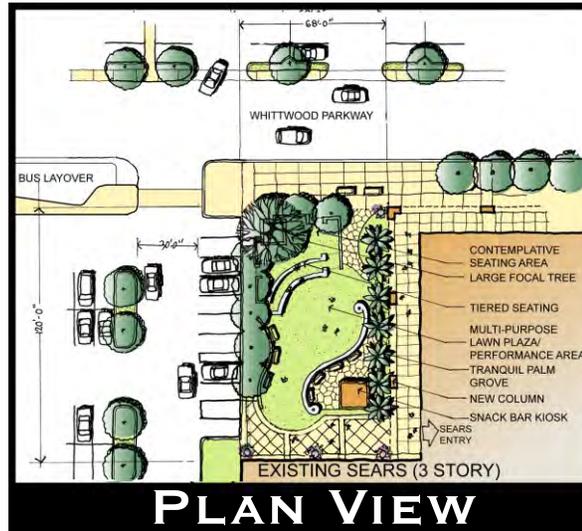
- ENHANCED HARDSCAPE MATERIALS/COLORS/APPLICATIONS**
- INTEGRAL COLOR CONCRETE
  - EARTH TONES
  - VARYING TEXTURES/FINISHES
  - PEDESTRIAN NODES:  
3' x 3' (90°) MAXIMUM SCORING WITH ENHANCED BANDING
  - MAJOR PEDESTRIAN WALKWAYS:  
4' x 4' (90°) MAXIMUM SCORING PATTERN
  - GATHERING SPACES:  
6' x 6' (90°) MAXIMUM SCORING PATTERN WITH ENHANCED BANDING
  - VEHICULAR INTERSECTIONS:  
8' x 8' (45°) MAXIMUM SCORING PATTERN WITH ENHANCED BANDING
  - MAIN ENTRIES:  
6' x 6' (45°) MAXIMUM SCORING PATTERN WITH ENHANCED BANDING

concrete color palette

Notes:  
This is a conceptual materials and colors palette for illustrative purposes only. Actual development may vary.  
Source: Perkowitz + Ruth Architects & EPT Design

**Enhanced Hardscape - Materials & Colors Palette** Figure 51

not to scale



Notes:

This is a conceptual site design for illustrative purposes only. Individual building designs are typical and based on requirements established by the WHITTWOOD TOWN CENTER design guidelines and development standards. Actual development may vary.

Source: Perkowitz + Ruth Architects

Figure 52  
**Village Green**

not to scale





## PLAN VIEW



## VIGNETTE

**Notes:**

This is a conceptual site design for illustrative purposes only. Individual building designs are typical and based on requirements established by the WHITTWOOD TOWN CENTER design guidelines and development standards. Actual development may vary.

Source: Perkowitz + Ruth Architects

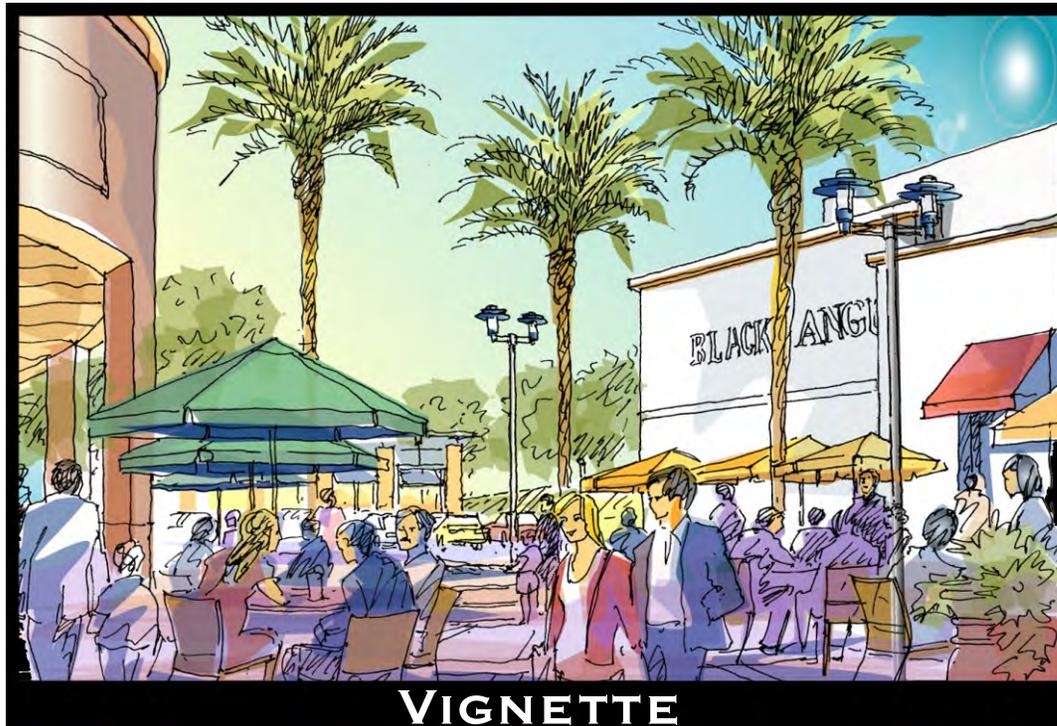
Figure 53  
**Festival Paseo**

not to scale





**PLAN VIEW**



**VIGNETTE**

**Notes:**

This is a conceptual site design for illustrative purposes only. Individual building designs are typical and based on requirements established by the WHITTWOOD TOWN CENTER design guidelines and development standards. Actual development may vary.

Source: Perkowitz + Ruth Architects

Figure 54  
**Parkway Plaza**

not to scale



food court and smaller commercial-retail uses will capture a highly traveled pedestrian corridor (see Figure 55, *Marketplace Plaza*). The Marketplace Plaza is envisioned to be active throughout the day. This pedestrian-scaled corridor will be vital for providing sufficient gathering areas and this facilitates movement within WHITTWOOD TOWN CENTER. Major elements within the Marketplace Plaza include outdoor seating and dining areas, ample shade, and meticulous hardscape and landscape design.

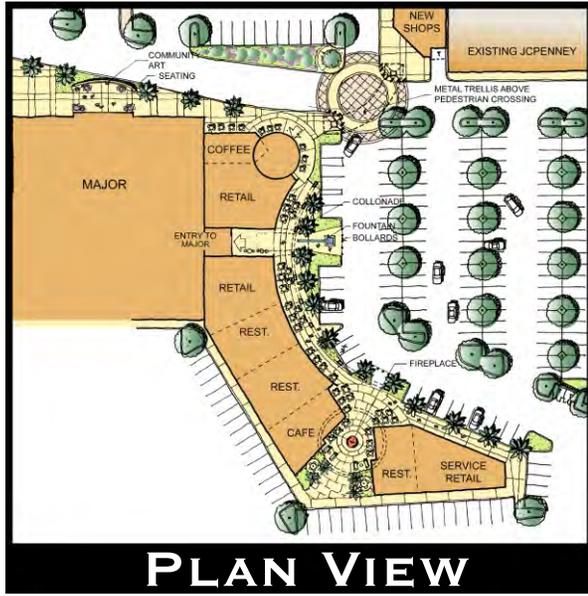
### e. Village Gateway Trail

A primary goal of WHITTWOOD TOWN CENTER is the integration of the *Residential Village District* and existing residences with the four mixed-use districts. A key element that will facilitate this envisioned integration of uses within the various districts planned for WHITTWOOD TOWN CENTER will be the Village Gateway Trail. This pedestrian element provides an easy connection to the mixed-use districts for residents of the *Residential Village District* and existing residences to the south, as shown on Figure 56, *Village Gateway Trail*. Paseos within the *Residential Village District* will provide access to pedestrian gates leading to the Village Gateway Trail. The existing pedestrian connection from the southern project boundary and Starbuck Street will lead visitors into the Village Gateway Trail and provide access to various districts within the town center. Major elements of the Village Gateway Trail include wood trellises and lush landscape lined with cypress trees.

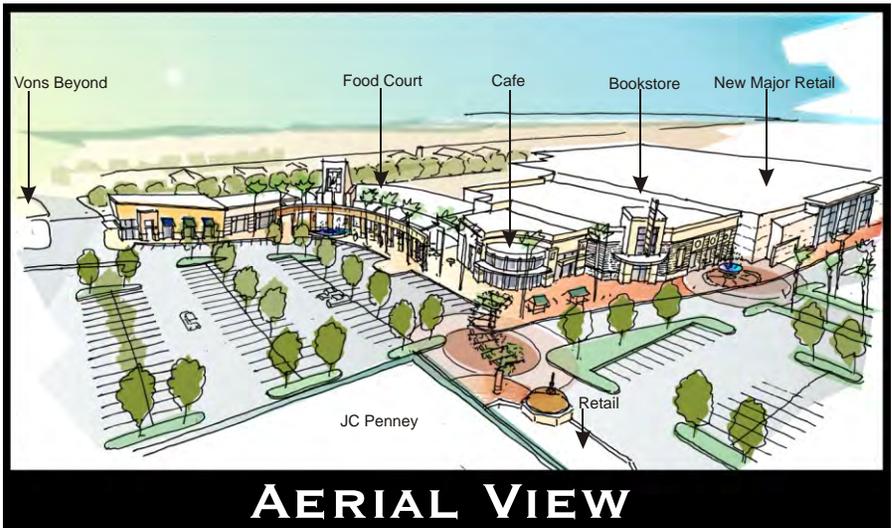
### f. Fitness Circuit

Many people use the existing mall facility for walking and exercise purposes, even though existing conditions are not conducive to a feeling of safety or enjoyment. The development plan for the WHITTWOOD TOWN CENTER Specific Plan recognizes the importance of this use by establishing a planned Fitness Circuit. This one-mile formalized feature, as illustrated on Figure 57, *Fitness Circuit*, will provide the

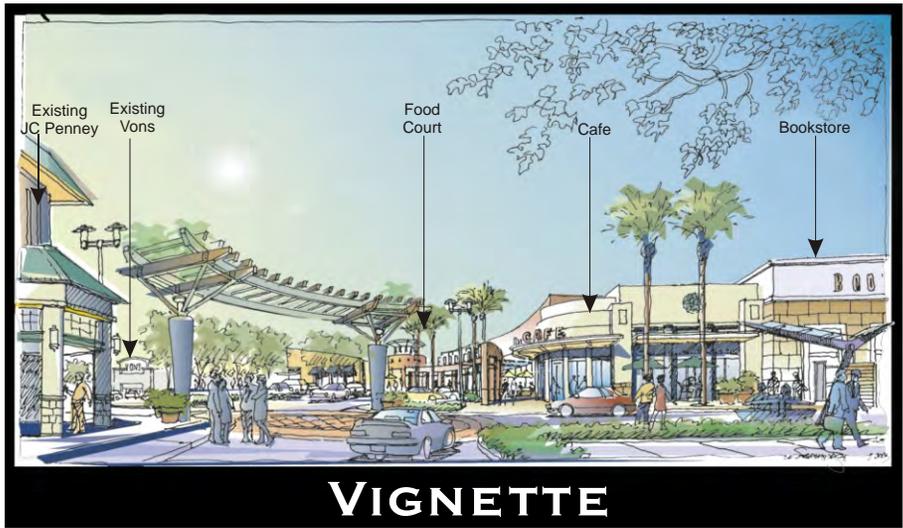
opportunity to enjoy numerous pedestrian focal points and internal elements, facilitate exercise and fitness.



**PLAN VIEW**



**AERIAL VIEW**



**VIGNETTE**

**Notes:**

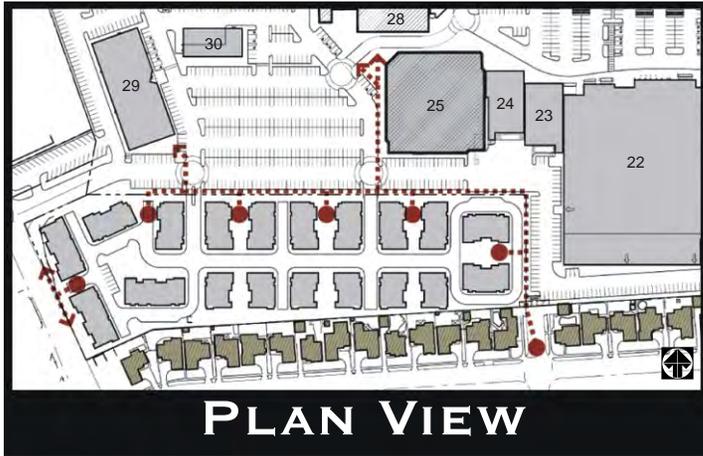
This is a conceptual site design for illustrative purposes only. Individual building designs are typical and based on requirements established by the WHITTWOOD TOWN CENTER design guidelines and development standards. Actual development may vary.

Source: Perkowitz + Ruth Architects

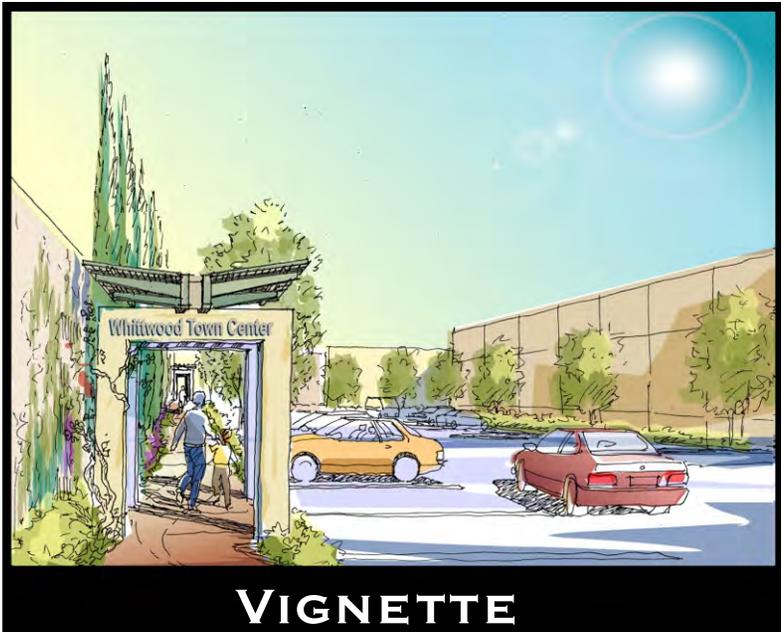
Figure 55  
**Marketplace Plaza**

**not to scale**

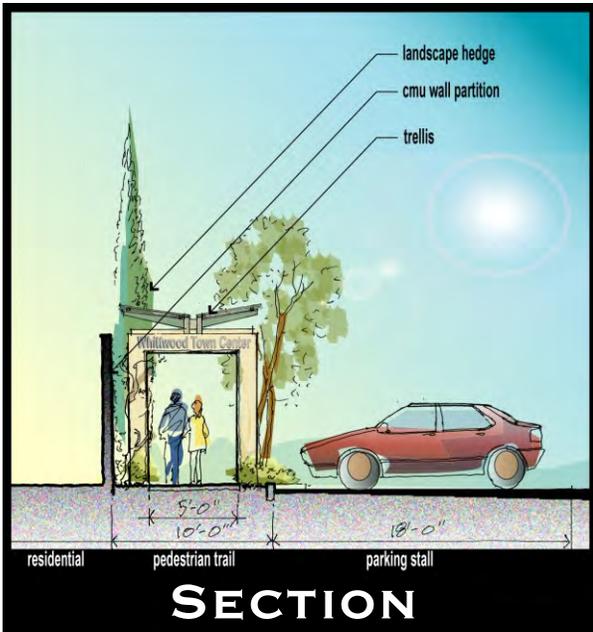




**PLAN VIEW**



**VIGNETTE**



**SECTION**

Notes:

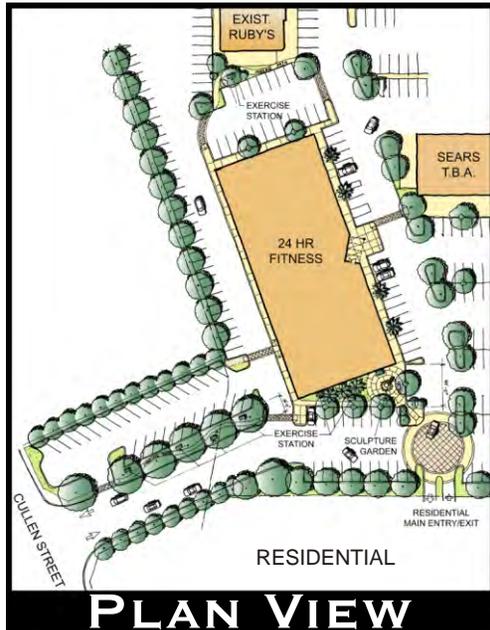
This is a conceptual site design for illustrative purposes only. Individual building designs are typical and based on requirements established by the WHITTWOOD TOWN CENTER design guidelines and development standards. Actual development may vary.

Source: Perkowitz + Ruth Architects

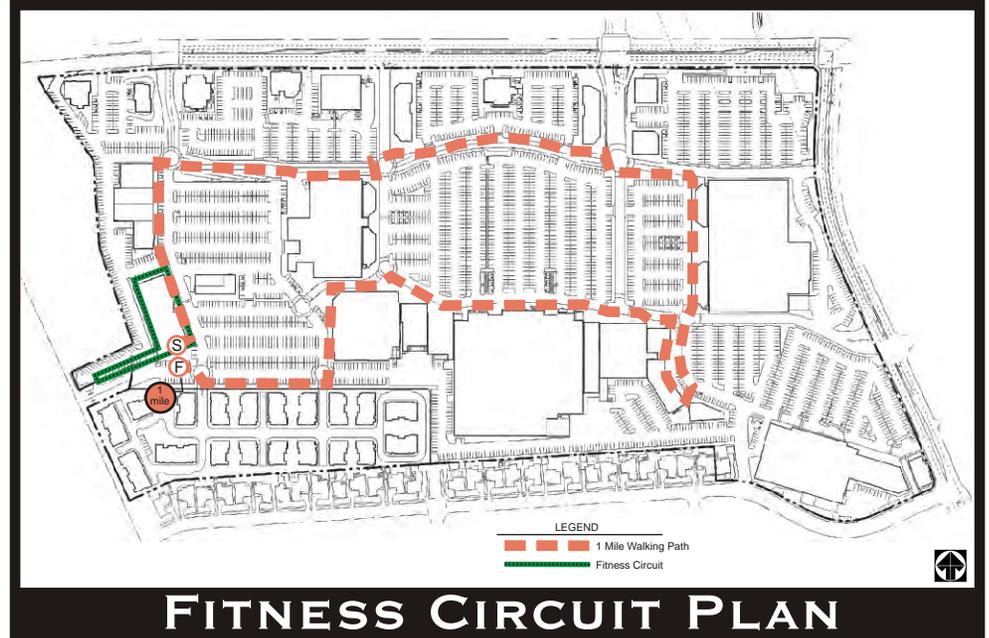
Figure 56  
**Village Gateway Trail**

**not to scale**

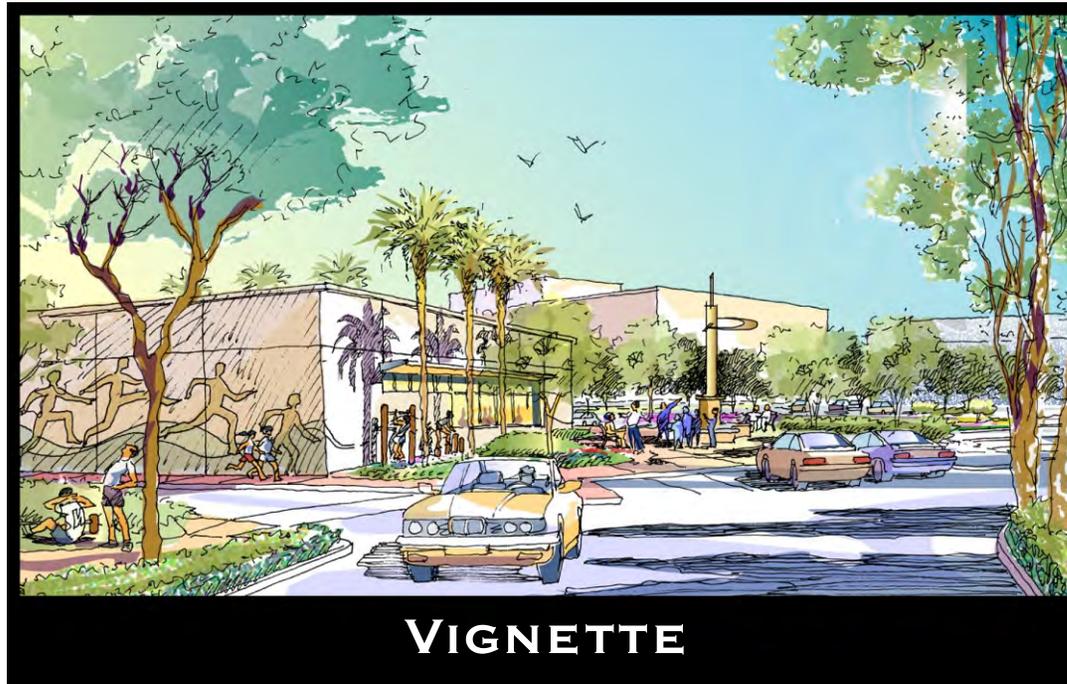




## PLAN VIEW



## FITNESS CIRCUIT PLAN



## VIGNETTE

Figure 57  
**Fitness Circuit**

not to scale

Notes:

This is a conceptual site design for illustrative purposes only. Individual building designs are typical and based on requirements established by the WHITTWOOD TOWN CENTER design guidelines and development standards. Actual development may vary.

Source: Perkowitz + Ruth Architects



## 6. RESIDENTIAL VILLAGE DISTRICT THEME

The landscape design for the *Residential Village District*, as illustrated on Figure 58, *Residential Village District – Conceptual Landscape Plan*, will continue the pedestrian-urban “Village” theme and offers added integration to the mixed-use districts through a strong network of vehicular and pedestrian entries located along “*Village Drive*” (see Figure 59, *Residential Village District – Entry Treatment* and Figure 60, *Residential Village District – Pedestrian Access Entry*). Residential entries have been strategically aligned with major vehicular and pedestrian circulation elements within the town center. The adjacent Village Gateway Trail shall offer residents the ability to walk to the town center and enjoy its shops, restaurants, and various other uses. Additionally, residents shall be able to utilize surface parking within the adjacent mixed-used districts, which will connect to lushly landscaped stradas, paseos, and courtyards within the residential design and shall provide further integration of uses within WHITTWOOD TOWN CENTER (see Figure 61, *Residential Village District – Typical Paseo*).

A perimeter edge treatment for the *Residential Village District* has been designed to ensure adequate separation and buffering between public streets, existing residences to the south, and the mixed-use districts within the town center. This treatment retains and incorporates an existing hedge approximately 22 feet in height which buffers existing residences located south of the proposed townhomes (see Figure 62, *Residential Village District - Southern Edge Treatment*). This proposed landscape edge treatment will include adequate building setbacks, installation of landscaping treatments, and a perimeter sound attenuation wall. Streetscape landscaping will occur along private internal roadways and will include trees, groundcover, and other hardscape and landscape installation (see Figure 63, *Residential Village District – Private Internal Streetscape*.)

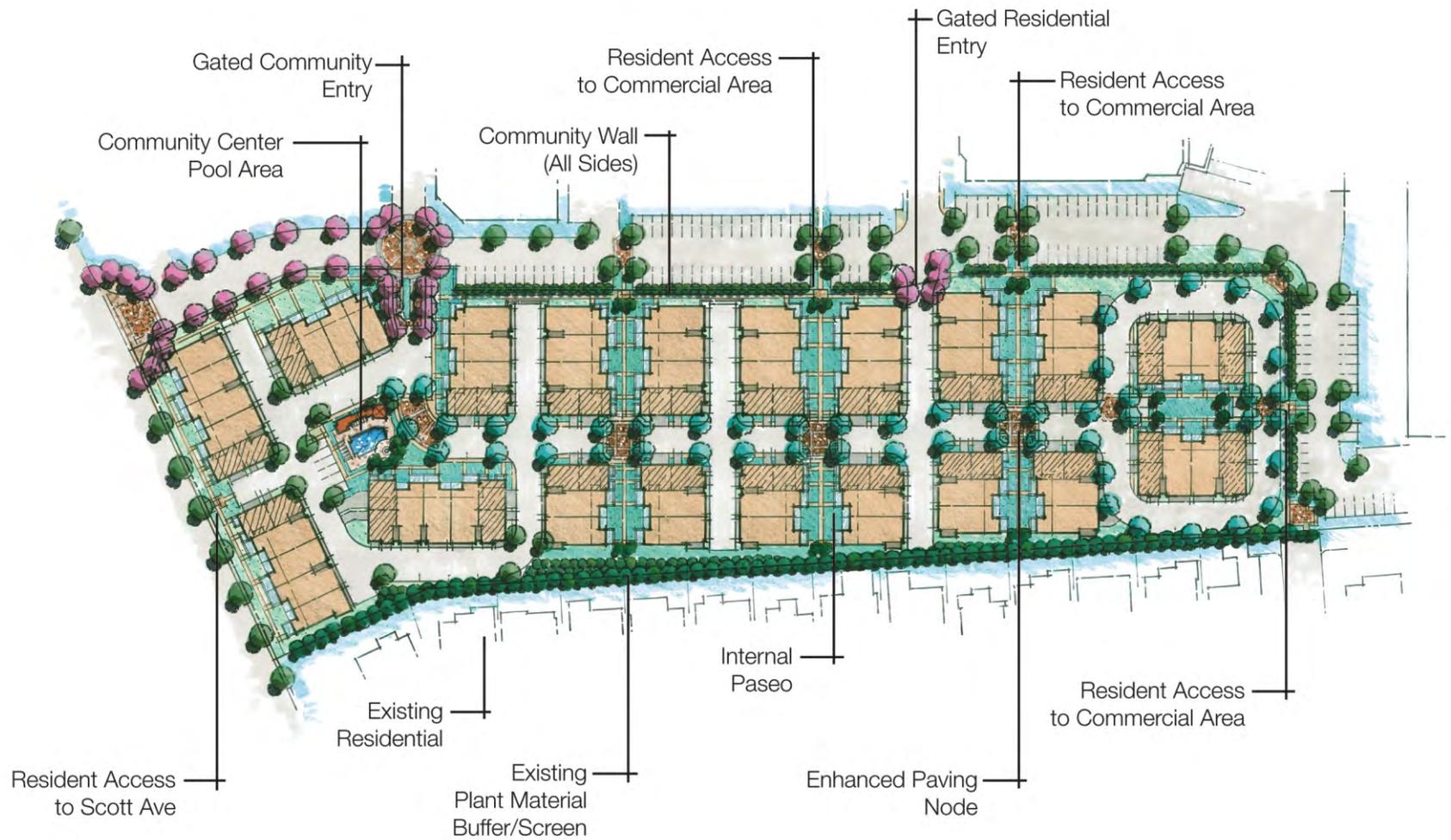
A private recreation facility, as depicted on Figure 64, *Community Recreation Area*, will provide future residents with ample recreational

opportunities. Typical amenities include a swimming pool, special outdoor events area, and a pool cabana. A fence shall be provided that will surround the swimming pool area and adequate parking area shall be provided for residents using the facility. The recreation center shall be connected to other portions of the residential development via private internal circulation elements.

## 7. GENERAL LANDSCAPE STANDARDS

The following general landscapes standards are provided to ensure a quality landscape theme:

1. All areas of the site not occupied by buildings, parking, or other development elements shall be landscaped with groundcover, turf, or tree materials from the project plant palette.
2. Appropriate street trees should be used adjacent to street frontage, integrating the site into the overall community setting.
3. All new trees located in the Mixed-Use Districts shall have a 36-inch box size minimum.
4. One and a half 24-inch box size trees should be provided per residential dwelling unit. The trees should be planted where they will provide significant shade for open space areas, including ground level open areas, porches, and second-floor balconies; where they will shade units to reduce air conditioning demand in summer months; and where they will enhance privacy between units as well as protect the privacy of abutting lots.



Notes:

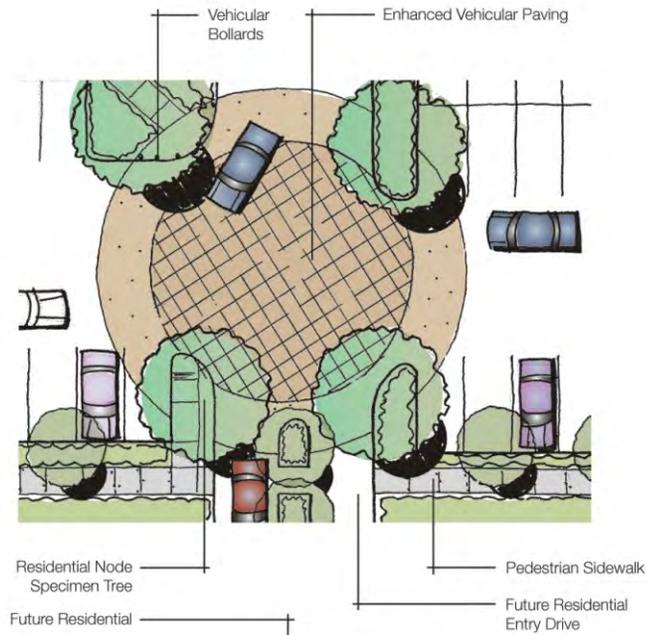
This is a conceptual site design for illustrative purposes only. Individual building designs are typical and based on requirements established by the WHITTWOOD TOWN CENTER design guidelines and development standards. Actual development may vary.

Source: KTG Group, Inc.

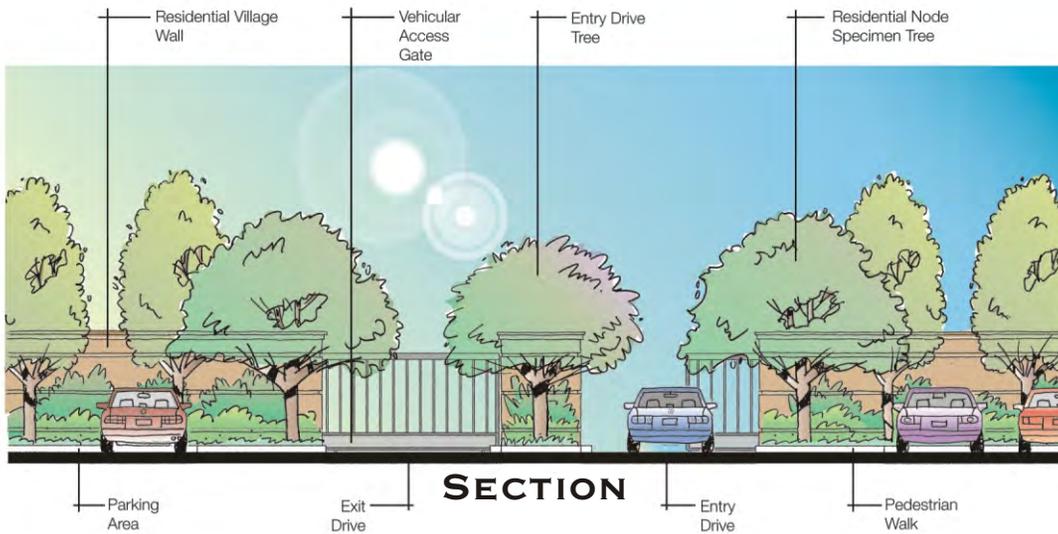
Figure 58

## Residential Village District - Conceptual Landscape Plan

 not to scale



**PLAN VIEW**



**SECTION**

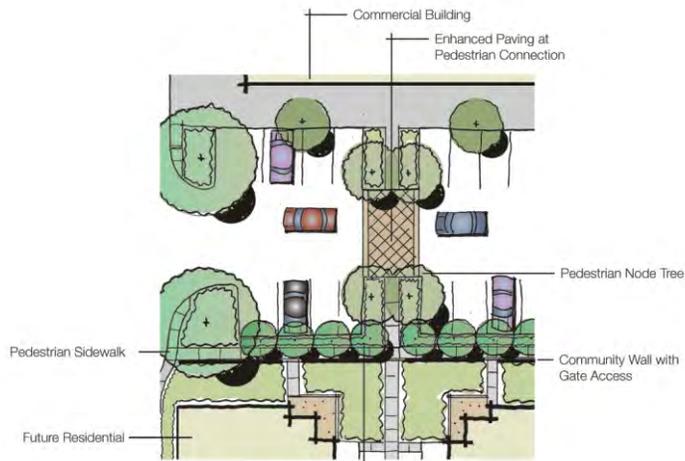


Figure 59

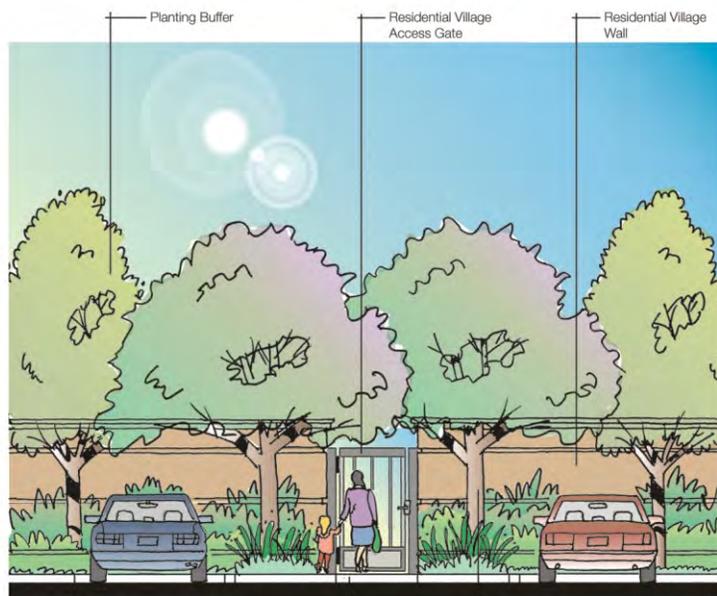
**Residential Village District - Entry Treatment**

not to scale

Source: EPT Design



**PLAN VIEW**



**SECTION**



Figure 60  
**Residential Village District -  
 Pedestrian Access Entry**

not to scale

Source: EPT Design



**VIGNETTE**

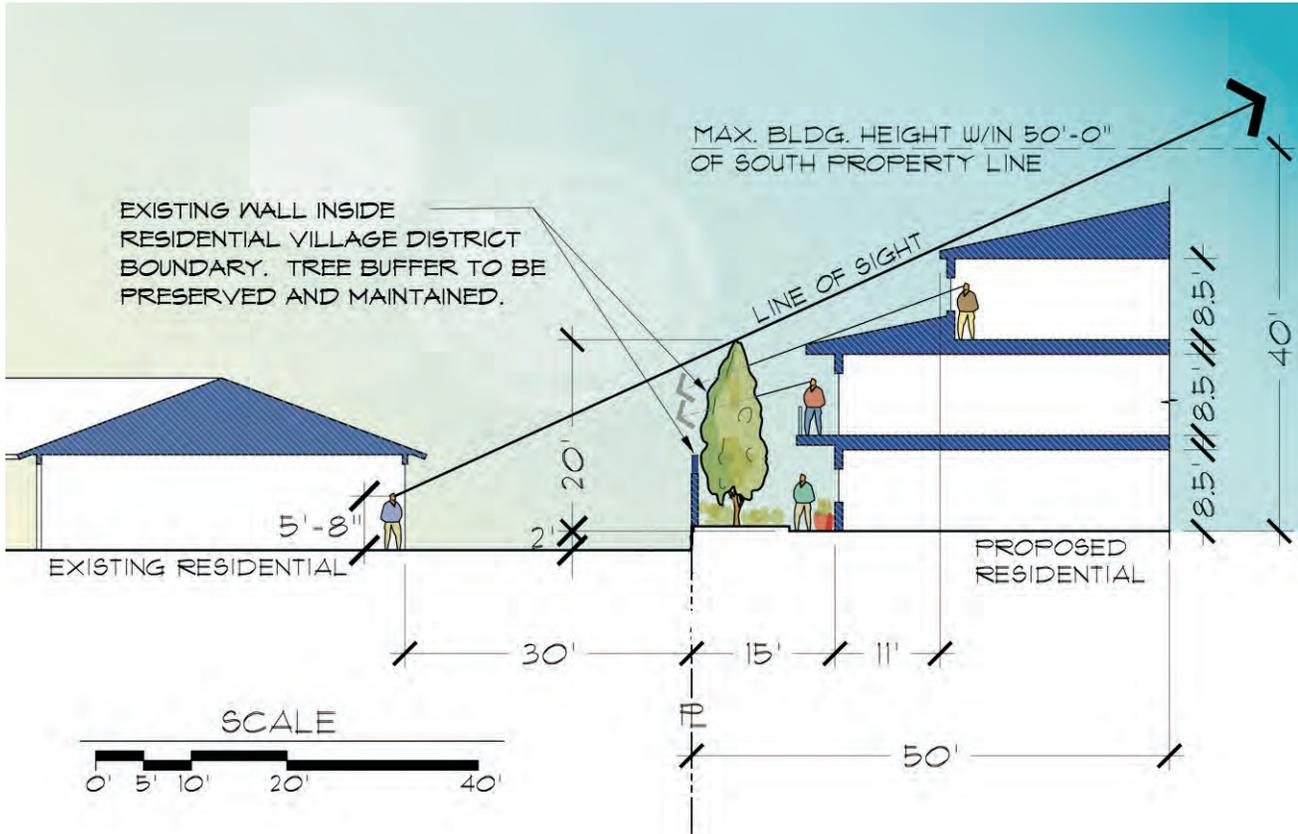
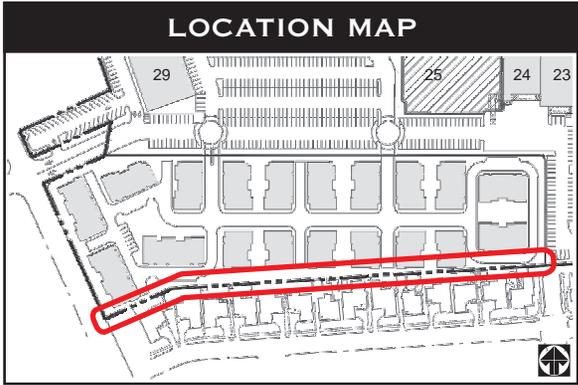
Notes:

This is a conceptual site design for illustrative purposes only. Individual building designs are typical and based on requirements established by the WHITTWOOD TOWN CENTER design guidelines and development standards. Actual development may vary.

Source: KTG Group, Inc.

Figure 61  
**Residential Village District - Typical Paseo**

not to scale



**Residential Village District - Southern Edge Treatment** Figure 62



Source: Perkowitz + Ruth Architects



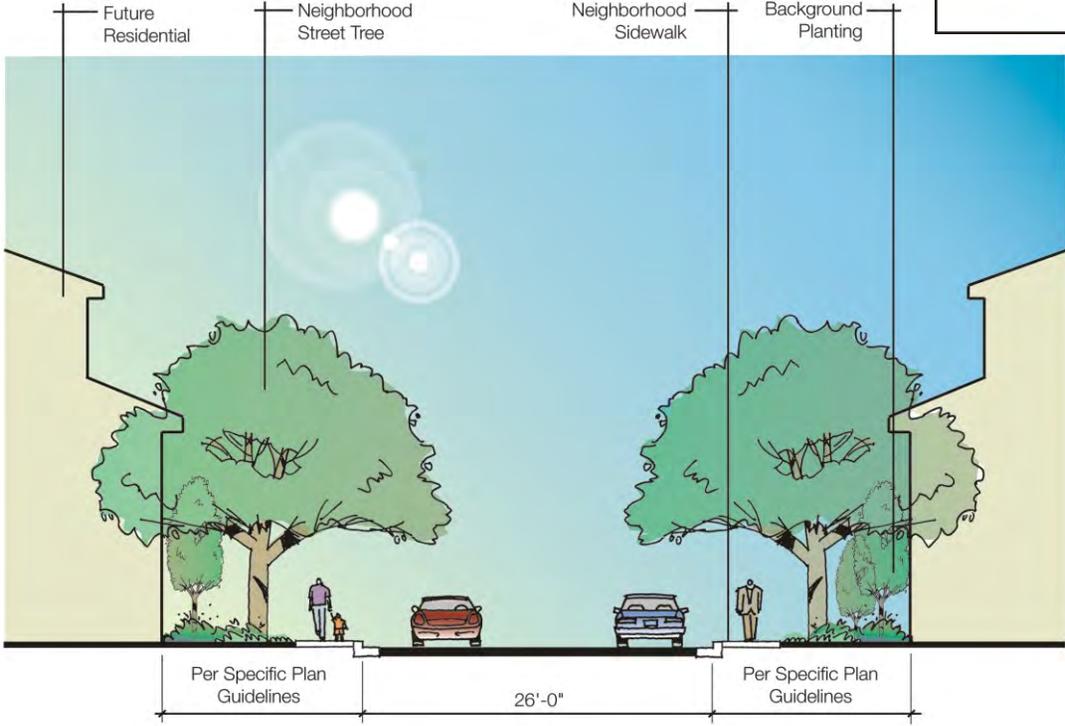
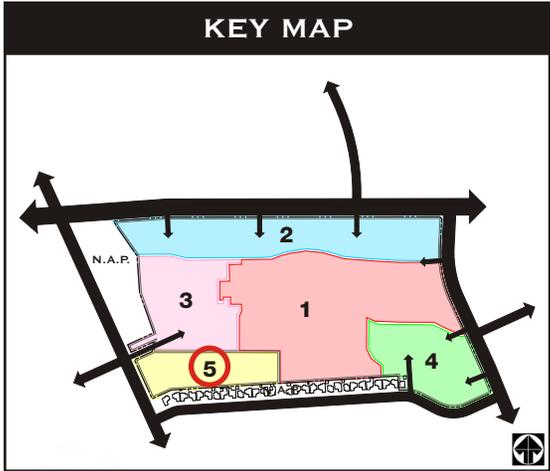


Figure 63  
**Residential Village District -  
 Private Internal Streetscape**

not to scale

Source: EPT Design

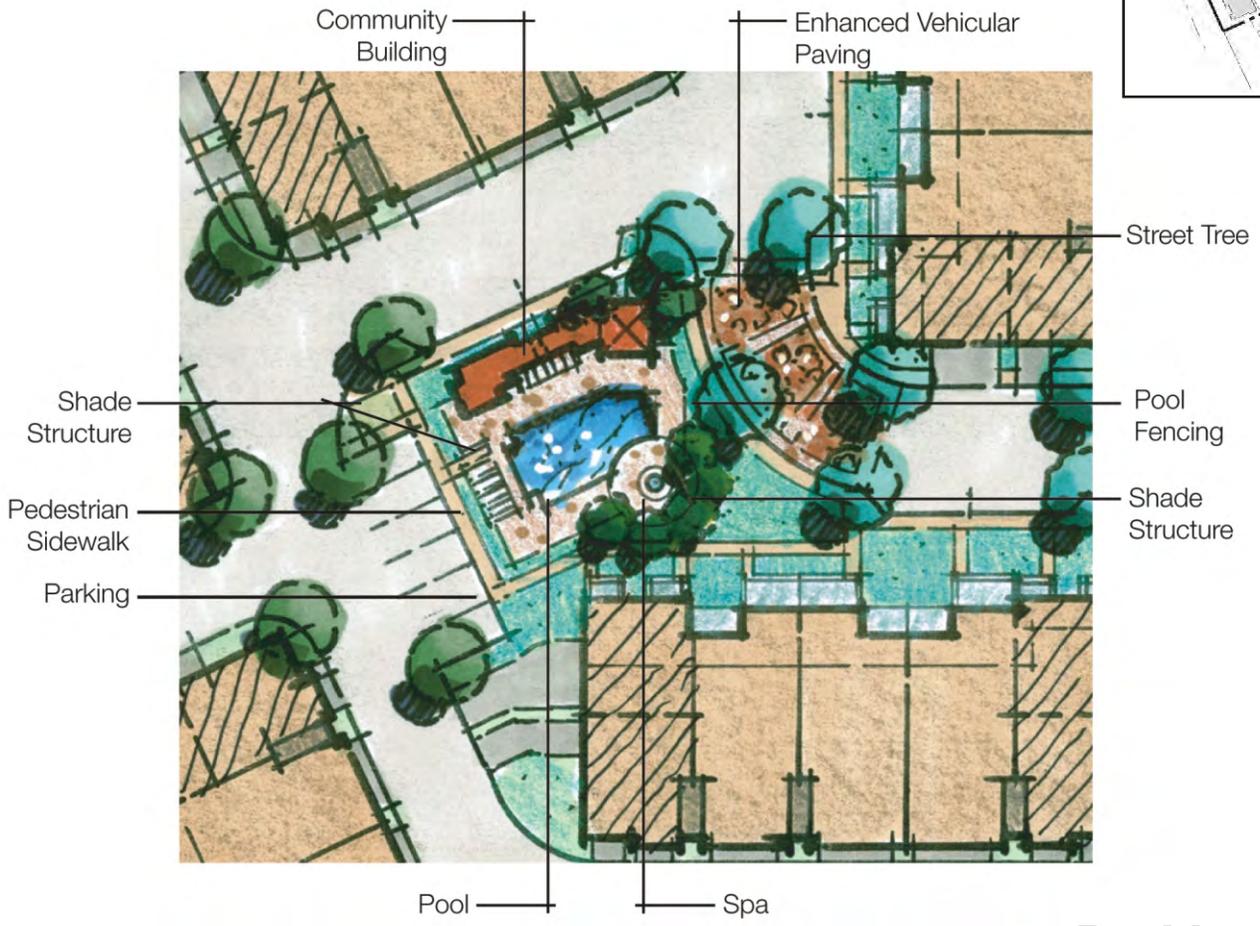


Figure 64  
**Residential Village District -  
 Community Recreation Area**

not to scale

Source: EPT Design

5. Accent tree entry planting shall be required at vehicular access points into the project site.
6. Public art shall be provided within the project, either in conjunction with the history of the site or the surrounding area. Public art may include mosaics, fountains and pools, sculptures, functional landscape (i.e. seating on walls), and other similar elements of an artistic nature.
7. Hardscape and landscape treatments shall be applied throughout the project site to create an active and vibrant urban "Village" which promotes pedestrian-oriented design and opportunities for relaxation and interaction.

## 8. SPECIFIC LANDSCAPE STANDARDS

### a. Open Space

1. Common open space should be enhanced with paths, plazas, gardens, benches, shade structures and/or water elements. These improvements should be consistent with the architectural style of the building. Common open spaces should be connected and coordinated with public landscape and hardscape improvements, where existing.
2. All private open space should be fenced for the private use of the occupants of the unit it is intended to serve.
3. All private open space shall be adjacent and accessible to the unit it is intended to serve.
4. Ground-level private open space should be bounded only by garden walls, garage walls, and/or the walls of the unit the open space is intended to serve.

5. Above-ground private open space (i.e. decks and balconies) should be set back at least 10 feet from interior property lines.
6. An interconnected path system should be provided and should be integrated with the public sidewalk, where available. The path system should serve guest parking areas.

### b. Existing Plant Material Assessment

The design intent is to use and integrate various existing plant materials found on-site. Every effort shall be made to preserve all existing plant material on-site. Factors contributing to the use of the existing plant material include health of the material, whether the material will withstand construction stress, feasibility of relocating the material and the long range benefit the material will have to the built project. A professional and certified arborist shall assist the design team in determining which plant materials are healthy, can withstand relocation, appropriate box sizing for transplantation, and care for the materials during and after relocation.

1. Southern Residential Boundary: Preserve all healthy plant materials within this zone to aid existing buffer. Eliminate any dead or dying material and replace with healthy specimens of equal or greater size.
2. Santa Gertrudes Avenue: Protect the existing ficus streets that give the street a unique character.
3. Existing Plant Material: The following is a list of plant material that currently exists on-site. Upon review from a certified arborist and licensed tree location company, certain specimens will be deemed appropriate for retention

in place or elsewhere on the WHITTWOOD TOWN CENTER site.

- Ficus
- Olea europaea
- Pinus canariensis
- Cupressus sempervirens
- Jacaranda mimosifolia
- Schinus molle
- Magnolia ssp.
- Melaleuca ssp.
- Chorisia ssp.

### c. Utilities

1. Transformers, post-indicator valves, backflow-preventers and similar apparatus shall either be undergrounded or located in inconspicuous areas, and screened with landscaping.

9. PLANT PALETTE

It is the intent of these guidelines to provide flexibility and diversity in plant material selection, while maintaining a limited palette in order to give greater unity and thematic identity to the WHITTWOOD TOWN CENTER. The plant material palette has been selected for its appropriateness to the project theme, climatic conditions, soil conditions, and concern for maintenance. Wherever possible, overall plant material groupings shall be designed to minimize water application for the entire landscape setting. Consideration should be given to the location of trees to avoid potential long term problems with tree roots and shall be consistent with the City of Whittier landscaping standards. Use of existing plant materials in key areas will be a desired feature of

WHITTWOOD TOWN CENTER. Assessments of existing material will be necessary to determine the appropriate locations and species of all proposed concepts. Salvaging and improving existing residential plant material buffers along the southern edge of project are an important component, as is the retention of existing materials along Santa Gertrudes Avenue. Table 8, *Plant Palette*, provides a listing of plant material identified for use in the streetscapes, entries, and other special areas of WHITTWOOD TOWN CENTER. Other species can also be used, subject to the approval by the Director of Community Development for the City of Whittier.

TABLE 8  
PLANT PALETTE

TYPE	BOTANICAL NAME	COMMON NAME	THEME
PLANTS & TREES	<i>Pinus canariensis</i>	Canary Island Pine	Mediterranean
	<i>Platanus acerifolia</i>	London Plan Tree	Temperate
	<i>Tabebuia impetiginosa</i>	Pink Trumpet Tree	Subtropical
	<i>Pinus eldarica</i>	Afghan Pine	Mediterranean
	<i>Tristania conferta</i>	Brisbane Box	Subtropical
	<i>Cinnamomum camphor</i>	Camphor Tree	Subtropical
	<i>Magnolia grandiflora</i>	Southern Magonolia	Subtropical
	<i>Olea eurpaea</i>	Olive Tree	Mediterranean
	<i>Schinus molle`</i>	California Pepper	Mediterranean
	<i>Cupaniopsis anarcardiodes</i>	Carrotwood	Subtropical
	<i>Jacaranda mimosifolia</i>	Jacaranda	Subtropical
	<i>Brachychiton populeneus</i>	Bottle Tree	Mediterranean
	<i>Hymenosporum flavum</i>	Sweetshade	Subtropical
	<i>Lagerstroemia indica</i>	Crape Myrtle	Temperate
	<i>Podocarpus gracilior</i>	Fern Pine	Subtropical
<i>Rhus Iancea</i>	African Sumac	Mediterranean	

TABLE 8  
PLANT PALETTE (Con't)

TYPE	BOTANICAL NAME	COMMON NAME	THEME
PLANTS & TREES	<i>Agonis flexuosa</i>	Peppermint Tree	Mediterranean
	<i>Arbutus unedo</i>	Strawberry Tree	Mediterranean
	<i>Prunus cerasifera</i>	Purple Leaf Plum	Temperate
	<i>Citrus species</i>	Citrus	Mediterranean
	<i>Ficus nitida 'Green Gem'</i>	Indian Laurel Fig	Subtropical
	<i>Maytenus boaria</i>	Mayten Tree	Subtropical
	<i>Tipuana tipu</i>	Tipu Tree	Subtropical
	<i>Platanus racemosa</i>	California Sycamore	Temperate
	<i>Pinus pinea</i>	Stone Pine	Mediterranean
	<i>Pinus brutia</i>	Calabrian Pine	Mediterranean
	<i>Rohinia 'Idahoensis'</i>	Idaho Locust	Temperate
SHRUBS	<i>Abelia grandiflora</i>	Abelia	Temperate
	<i>Agapenthus orientalis</i>	Lily-of-the-Nile	Subtropical
	<i>Agave attenuate</i>	Foxtail Agave	Subtropical
	<i>Aloe arborescens</i>	Tree Aloe	Mediterranean
	<i>Anigozanthus flavidas</i>	Kangaroo Paw	Mediterranean
	<i>Arbutus unedo 'Compacta'</i>	Strawberry Tree	Mediterranean
	<i>Bougainvillea sp.</i>	Bougainvillea	Subtropical
	<i>Buxus japonica</i>	Boxwood	Temperate
	<i>Calliandra haematocephalia</i>	Pink Powder Puff	Subtropical
	<i>Coprosma repens</i>	Mirror Plant	Temperate
	<i>Dietes iridioides</i>	Fortnight Lily	Temperate
	<i>Escallonia 'Newport Dwarf'</i>	Escallonia	Temperate
	<i>Festuca mairei</i>	Mire's Fescue	Temperate
	<i>Hakea suaveolens</i>	Sweet Hakea	Mediterranean
	<i>Hemerocallis hybrid</i>	Daylily	Temperate
	<i>Lavandula stoechas</i>	Spanish Lavender	Mediterranean
	<i>Leptospermum scoparium</i>	New Zealand Tea Tree	Mediterranean
	<i>Ligustrum japonicum 'Texanum'</i>	Texas Privet	Temperate
	<i>Liriope muscari</i>	Big Blue Lily Turf	Temperate

**TABLE 8**  
**PLANT PALETTE (Con't)**

<b>TYPE</b>	<b>BOTANICAL NAME</b>	<b>COMMON NAME</b>	<b>THEME</b>
<b>GROUNDCOVERS</b>	<i>Muhlenbergia capillaris</i>	Pink Muhly	Mediterranean
	<i>Myrtus communis</i>	Common Myrtle	Mediterranean
	<i>Nandina domestica</i>	Heavenly bamboo	Temperate
	<i>Pennisetum setaceum</i>	Fountain Grass	Mediterranean
	<i>Phormium tenax</i>	New Zealand Flax	Mediterranean/Subtropical
	<i>Photinia fraseri</i>	Chinese Photinia	Temperate
	<i>Pieris japonica</i>	Lily-of-the-Valley Shrub	Temperate
	<i>Pittosporum tobira</i>	Tobira	Temperate
	<i>Prunus caroliniana 'Compacta'</i>	Carolina Laurel Cherry	Temperate
	<i>Prunus laurocerasus</i>	English Laurel	Temperate
	<i>Raphiolepis indica</i>	Indian Hawthorne	Mediterranean
	<i>Rosa sp.</i>	Shrub Rose	Temperate
	<i>Rosmarinus officinalis</i>	Rosemary	Mediterranean
	<i>Salvia leucantha</i>	Mexican Bush Sage	Mediterranean
	<i>Strelitzia reginae</i>	Bird of Paradise	Subtropical
<i>Viburnum tinus</i>	Laurustinus	Temperate	
<i>Westringia fruticosa</i>	Coast Rosemary	Mediterranean	
<b>VINES</b>	<i>Bougainvillea brasiliensis</i>	Bougainvillea	Subtropical
	<i>Carissa macrocarpa</i>	Natal Plum	Subtropical
	<i>Hedera helix</i>	English Ivy	Mediterranean
	<i>Lonicera japonica 'Halliana'</i>	Myoporum	Temperate
	<i>Rosa</i>	Groundcover Rose	Temperate
	<i>Rosmarinus 'Huntington Carpet'</i>	Groundcover Rosemary	Mediterranean
	<i>Trachelospermum jasminoides</i>	Star Jasmine	Temperate
	<i>Vinca major</i>	Periwinkle	Temperate
	<i>Bougainvillea brasiliensis</i>	Bougainvillea	Subtropical
	<i>Clematis armandii</i>	Blood Red Trumpet Vine	Temperate
	<i>Parthenocissus tricuspidata</i>	Boston Ivy	Temperate
	<i>Pyrostegia venusta</i>	Flame Vine	Subtropical
<i>Wisteria chinensis</i>	Chinese Wisteria	Temperate	

## 10. PROJECT WALLS AND FENCES

Walls and fencing are visually prominent and can form a unifying element of design. On the other hand, if not properly located and designed, they can be a detriment by providing an overbearing sense of "confinement" with little or no visual relief. While a town center without walls may be a desirable objective, it is recognized that walls and fencing cannot be completely avoided for reasons of privacy, public health, safety, and "Village" identity.

The intent of the WHITTWOOD TOWN CENTER Specific Plan, with its many amenities and pedestrian-orientation, is to maintain open views and encourage access to public areas, trails, and districts within the town center. With this in mind, a "Village" design character that minimizes the amount of walls and fencing has been established for the Specific Plan area. Where walls and fencing are required (e.g., noise attenuation, privacy) or desirable (e.g., entry monumentation and residential buffers), the improvements shall be designed and constructed in a manner compatible with the scale, texture, and color of the surrounding environment.

In siting wall and fence locations, emphasis has been directed towards those areas which will be viewed from public streets and "Village" gathering nodes. Where unavoidable, designs shall integrate walls with other site components including signage, structures, and landscape and hardscape. Walls and fencing within WHITTWOOD TOWN CENTER will reflect an appropriate balance of function and aesthetic quality. All walls and fences within WHITTWOOD TOWN CENTER shall be designed as integral elements of building architecture or complementary to the architecture and landscape character. Walls and fencing will be used to establish identity, provide protection from roadway and other noise, and allow privacy and security in residential areas. To the extent possible, existing walls and fences located within the project site shall be retained and/or improved as necessary. Locations for these walls and fences are set forth on Figure 65, *Conceptual Wall and Fence Plan*. Three types of

walls, excluding walls associated with entry monumentation, will occur within the WHITTWOOD TOWN CENTER Specific Plan area, as illustrated in Figure 66, *Wall and Fence Detail*.

### a. Village Theme Wall (Mixed-Use and Residential)

The Village Theme Wall located within the mixed-use districts shall be a minimum of six (6) feet high and shall be constructed of split-face block or stucco, as appropriate for the architectural style and the appropriate entry statements. Where such walls tie into entry monumentation, the transition shall be made from the entry wall to the theme wall with a pilaster. Pilasters shall be provided every 100 feet, which may vary, depending on the location of the wall but shall include changes in elevation or direction. A visual accent feature, including but not limited to stone veneer, pilasters, patterned concrete/stucco, should be provided at corner theme wall treatments, including the intersections of Whittier Boulevard and Santa Gertrudes Avenue, Scott Avenue and Cullen Street, and Santa Gertrudes and Starbuck Street.

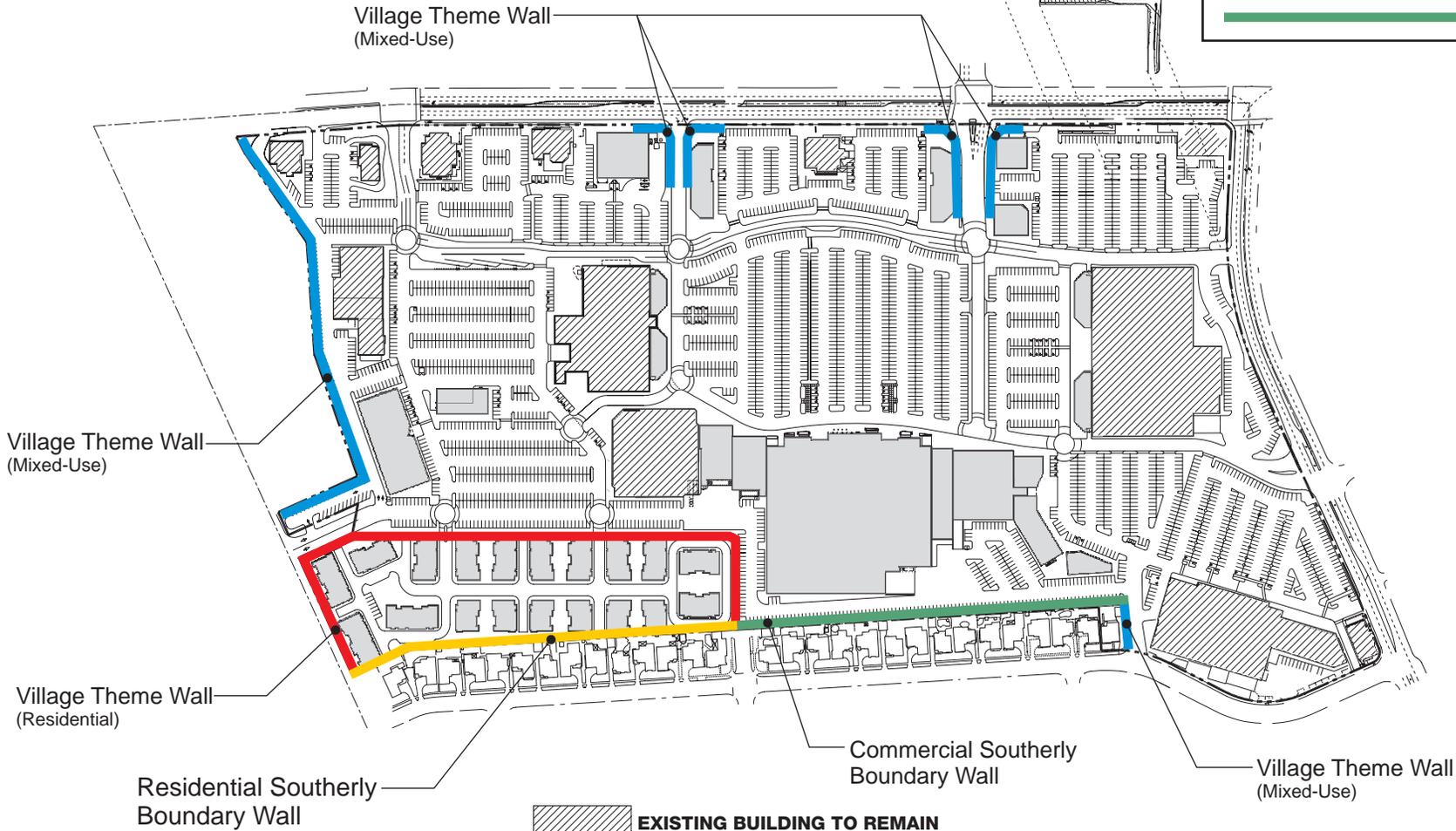
The Village Theme Wall around the northern, eastern, and western *Residential Village District* boundary shall be a mixture of solid block and wrought iron or tubular rail and shall not exceed a height of eight (8) feet and shall maintain a minimum height of six (6) feet. Additionally, the existing wall on the southerly *Residential Village District* boundary shall be constructed of solid material maintained at a consistent height of ten (10) feet along its entire length. All walls and fences shall be consistent with the project design and subject to review and approval by the Director of Community Development.

### b. Residential Walls and Neighborhood Fencing (Internal)

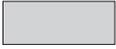
Internal residential walls and fences within the *Residential Village District* shall be designed as an integral component and extension of the

**LEGEND**

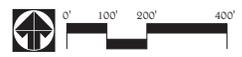
- VILLAGE THEME WALL (MIXED-USE) 
- VILLAGE THEME WALL (RESIDENTIAL) 
- RESIDENTIAL SOUTHERLY BOUNDARY WALL 
- COMMERCIAL SOUTHERLY BOUNDARY WALL 

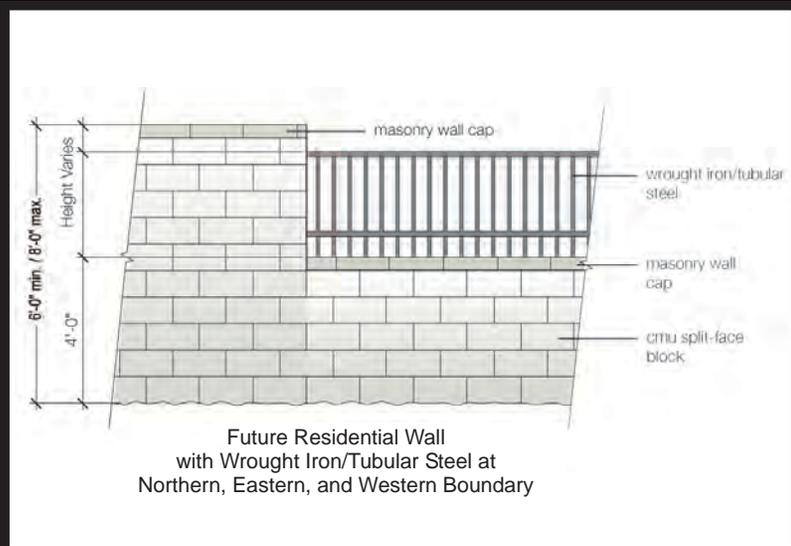


Note:  
 To the extent possible, existing walls and fences located within the project sites shall be retained and/or improved as necessary.

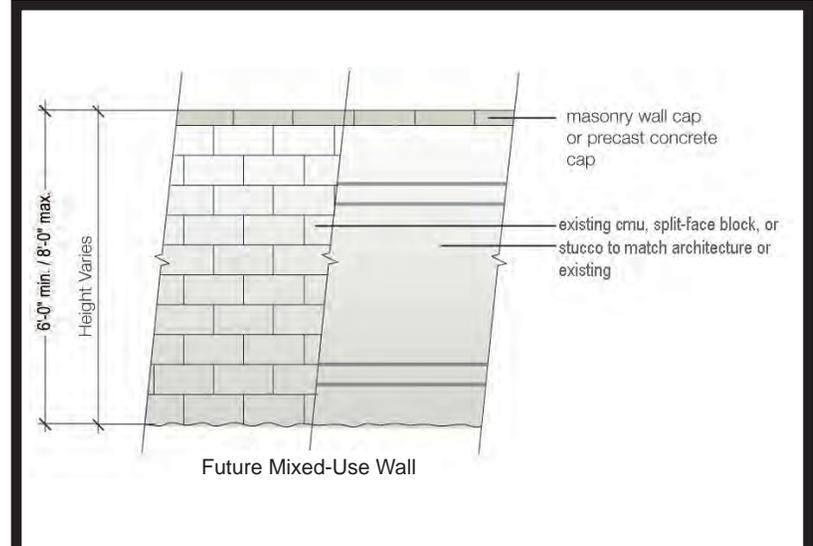
-  EXISTING BUILDING TO REMAIN
-  PROPOSED BUILDINGS

**Figure 65**  
**Conceptual Wall & Fence Plan**

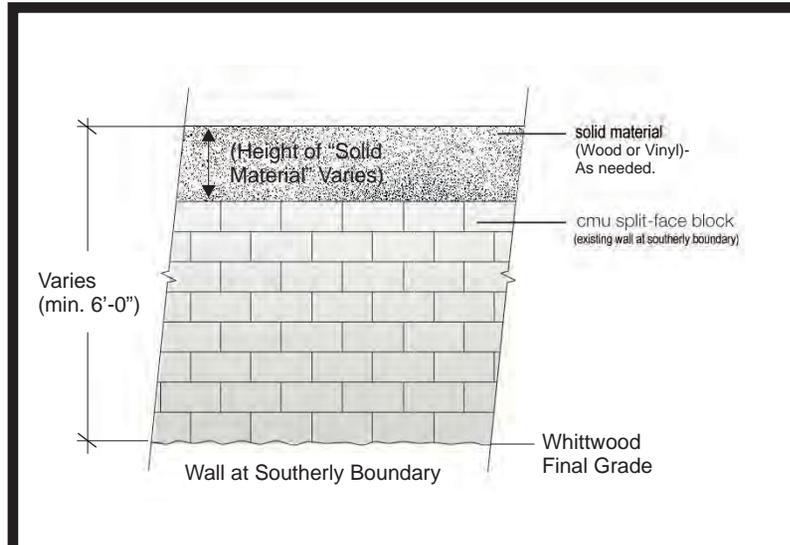




**VILLAGE THEME WALL -  
RESIDENTIAL**



**VILLAGE THEME WALL -  
MIXED-USE**



**COMMERCIAL AND RESIDENTIAL  
SOUTHERLY BOUNDARY WALL**

**Figure 66  
Wall & Fence Detail**

not to scale

Source: EPT Design

building design and surrounding landscape. Periphery fencing can be integrated into the adjacent structure and extended into the landscape to help integrate the building into its environment. Residential walls and fences shall be constructed of materials, colors, and textures that are similar and harmonious with the architecture. Particular importance shall be given to railing and cap details. Fences may be offset occasionally to avoid visual monotony. Fencing shall be used to define the limits of property ownership, as well as for the creation of exterior privacy.

### c. Wall and Fence Guidelines

The following guidelines shall be used for all fences and walls:

1. Appropriate materials may include stone, stone veneer, split-face/precision block, tubular steel, concrete, stucco pilasters and cap, and/or wrought iron. These materials should be applied to both sides of the wall or fence.
2. Solid fences and walls which are visible from public roadways shall incorporate design elements to reduce monotony. These elements shall include pilasters placed at intervals not to exceed 100 feet.
3. The placement of a fence or wall shall minimize the visual impact of the wall and maximize its effectiveness as mitigation for noise and privacy.
4. Fencing materials and patterns shall be compatible with adjacent building materials. All fences and walls should be constructed to industry standards and chainlink fencing, corrugated metal fencing, and "tennis windscreens" shall not be permitted within any yard area visible from a public viewing place.

5. Walls shall be treated as extensions of the residential structures and use materials and colors complementary of the overall architectural design.
6. Pilasters and changes in wall surfaces (staggering) may be employed where fences and walls are visible from public rights-of-way.
7. Walls and fence surfaces visible from public rights-of-way with shall be softened by plantings.
8. At the street, avoid long expanses of uninterrupted fences and walls. Use an opening, planter box, material change, pilasters or posts, or a 3-foot stagger at least every 40 feet.
9. Provide an opening to fences and walls to connect walkways directly to the street and avoid circuitous routes for pedestrians. These pedestrian "gateways" should be announced by pilasters, trellis, special landscaping, or other special features.
10. The existing wall on the southerly *Residential Village District* boundary shall be constructed of solid material and maintained at a consistent height of ten (10) feet along its entire length.
11. Walls or fences around the northern, eastern, and western *Residential Village District* boundary shall be a mixture of solid block and wrought iron or tubular rail and shall not exceed a height of eight (8) feet and shall maintain a minimum height of six (6) feet.
12. All walls and fences shall be consistent with the project design and subject to review and approval by the Director of Community Development.

## 10. LIGHTING

1. Street and off-street parking area lighting shall provide a safe and desirable level of illumination for both motorists and pedestrians without intruding into residential areas.
2. Lighting fixtures, consisting of porch lights, bollards, and/or ground-level decorative landscape and path lighting systems, shall relate to the human scale, especially in pedestrian areas. Proportionally-sized light standards are acceptable for large-area lighting.
3. Lighting and lighting fixtures shall compliment the design and character of each district in which they are placed.
4. All lighting shall be pedestrian-oriented and shall not be obtrusive or offensive.
5. Where flood lighting is deemed essential, lighting should be provided by shaded fixtures which are complementary to the architectural style of the units. “Wal-pac” style, high intensity security lights produce unnecessary light pollution in the form of glare and are not acceptable. Non-decorative wall-pacs and light standards shall not be permitted.
6. All street lighting shall conform to City standards or an approved lighting program, and shall be approved by the City Engineer.



## V. IMPLEMENTATION PLAN

### A. PHASING PLAN

Implementation of the WHITTWOOD TOWN CENTER Specific Plan is expected to be developed in four phases over an approximate 10-year period in response to market demands and according to a logical and orderly redevelopment of uses, public utilities, and infrastructure. A *Conceptual Phasing Plan* is provided on Figure 67. The timing and sequencing of construction phases is advisory only and non-binding and actual development may vary.

#### PROJECT PHASING STANDARDS

1. The phasing sequence described on Figure 67, *Conceptual Phasing Plan*, herein is based on current market demand. Certain areas may be developed out of the expected sequence, or in smaller increments, provided required infrastructure and services are available at the time of development.
2. Development of the *Residential Village District* shall not occur until at least eighty-percent (80%) of the commercial square footage provided for in the Specific Plan area has commenced construction.
3. Each phase of development shall incorporate necessary and applicable common open space areas, landscape development zones, and infrastructure associated with an adjacent phase or public street. No phase of development shall proceed that is dependent upon adjacent service(s), infrastructure or use(s) unless such service, infrastructure or use has been constructed or will be constructed in conjunction with the improvement of the subject phase.

4. Construction permitted by this Specific Plan may proceed progressively in stages, provided vehicular access, public facilities, and infrastructure is constructed to adequately service the uses within the site or as needed for public health and safety in each stage of development, so long as such phase of development conforms substantially with the intent and purpose of the Specific Plan Phasing Plan, as determined by the Director of the Community Development or his/her designee. Modifications that, in the determination of the Director or his/her designee would result in a significant alteration of the phasing plan established by this Specific Plan shall require an amendment of this Specific Plan through the Specific Plan Amendment process set forth below.

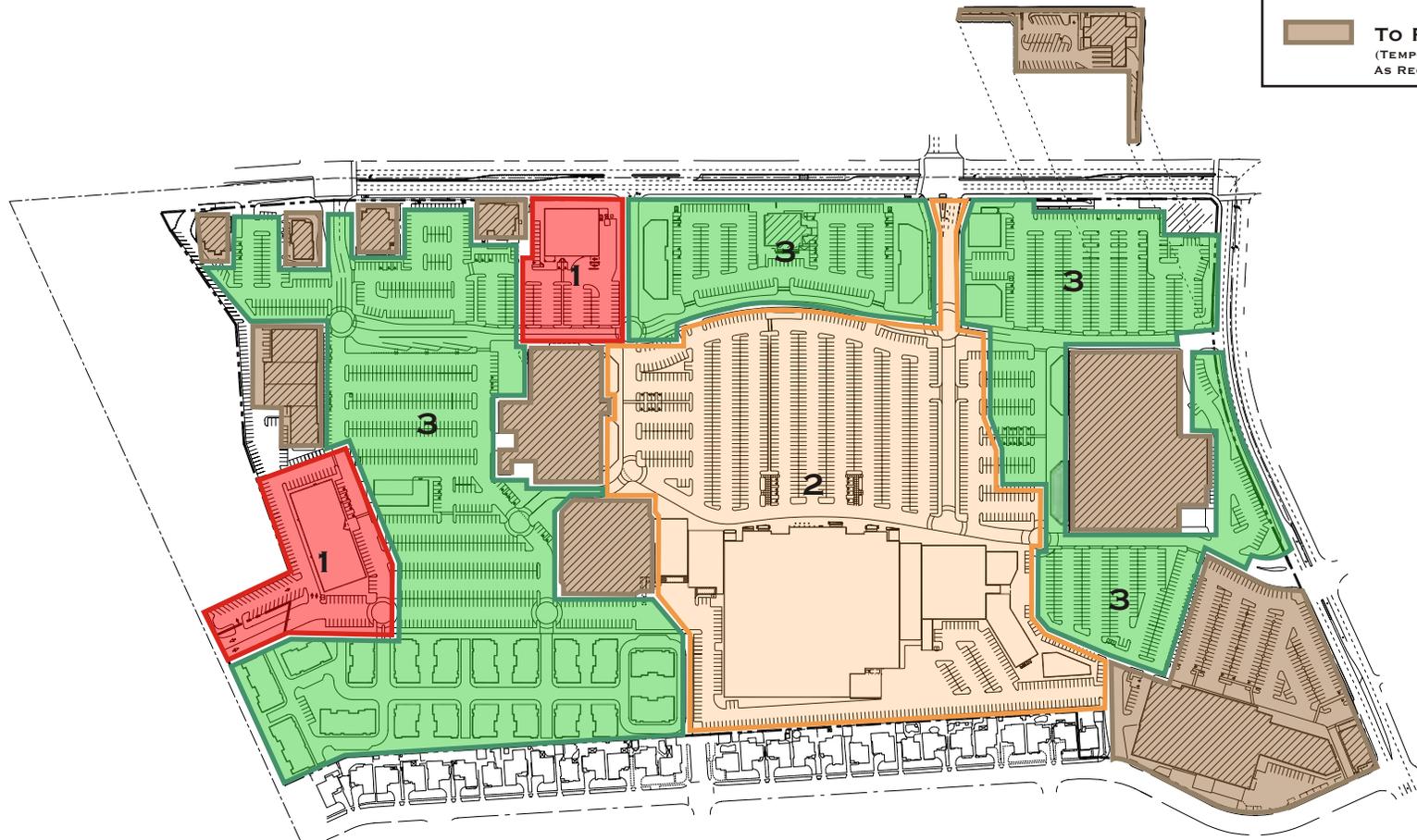
### B. DESIGN REVIEW, SUBSEQUENT APPLICATION, AND PERMIT REVIEW PROCESS

It is anticipated that improvements and construction to be performed under the auspices of this Specific Plan, will be implemented through a final subdivision map. Prior to the recordation of any final subdivision map, 1) Building and/or improvement plans, as defined below, for each District or portions of a District within the Specific Plan, and/or 2) Plans to mitigate an environmental impact as identified and required by the project EIR shall be submitted to the City of Whittier Community Development Department for approval.

WHITTWOOD TOWN CENTER will be processed through the City of Whittier's two-part development review process: 1) the Planning Approval process, and 2) the Plan Checking process, as appropriate.

**LEGEND**

- PHASE 1
- PHASE 2
- PHASE 3
- TO REMAIN OPEN  
(TEMPORARY CONSTRUCTION AS REQUIRED)



**Notes:**

This is a conceptual site design for illustrative purposes only. Individual building designs are typical and based on requirements established by the WHITTWOOD TOWN CENTER design guidelines and development standards. Actual development may vary.

Source: Perkowitz & Ruth Architects

- EXISTING BUILDING TO REMAIN
- PROPOSED BUILDINGS

Figure 67  
**Conceptual Phasing Plan**





The Planning Approval process involves review of plans for zoning compliance and design review (see Chapter 18.56 of the Whittier Municipal Code). Prior to the issuance of grading and building permits, the project also will be processed through Plan Checking, where a detailed technical review of the working drawings will occur. During this review process, the City will determine whether the drawings are in conformance with this Specific Plan, the Building Code, City Standards, and Conditions of Approval.

## □ DESIGN & PERMIT REVIEW PROCESS

1. All applications for implementation of this Specific Plan shall be made through the Building Permit and Improvement Plan application process. Where both buildings and site improvements are contemplated, the Building Permit and Improvement Plan applications may be consolidated into one combined submittal.
2. Applications for Building Permits, which propose construction that is in substantial conformance with this Specific Plan, shall be submitted to the Community Development Department and Design Review Board and shall include a Site Plan, Project Tabulations, Floor Plan, Elevation Drawings, Roof Plan, Colors and Materials Board and, if applicable Final Landscape Plans, as detailed below. Where applicable, such submissions also shall include Improvement Plans as described below.
  - a. Site plans shall include:
    - Architect's name and contact information
    - Project address
    - North arrow
    - Graphic and functional scales
    - Date of drawings
    - Property line dimensions

- Location and names of adjacent streets
- Public improvements within the parkway
- Structure location(s), dimensions, and floor areas
- Setback dimensions
- Dimensioned driveway widths (including curb cuts)
- Parking configuration
- Curbs, sidewalks, and walkways
- Walls and fences, existing and proposed
- Ground-mounted equipment and screening
- Exterior lighting
- Signs
- Required setbacks for the zone
- Non-Residential:
  - Net lot area
  - Number of proposed structures on-site and gross floor area
  - Number of stories of each structure
  - Parking spaces required, existing and proposed
  - Area of landscaping
  - Legal description
- Residential:
  - Net lot area
  - Number of units and stories proposed
  - Area of each unit and number of bedrooms
  - Number of parking spaces covered and uncovered (proposed, existing, and required)
  - Area of private and common open spaces
  - Legal description
  - Lot coverage



- b. Floor plans shall consist of:
  - All floors
  - Room type and dimensions
  - Balconies and decks, dimensioned
  - Window size and type
  - Door locations
  
- c. Elevation Drawings shall include:
  - Dimensioned drawing of all relevant elevations
  - Sections through areas of grade differentials
  - Dimensioned building height
  - Proposed signs (wall, projecting, and freestanding)
  - All architectural details intended for final construction, including wall-mounted lighting
  - Front elevations of immediately adjacent structures
  - Landscaping with approximately three years of growth
  - Must be drawn to show final grading
  - Roof Pitch
  
- d. Roof Plans shall include:
  - Location of HVAC units, if placed on the roof
  - Screening of HVAC units and other roof-top equipment
  
- e. The Color and Materials Board shall consist of one foam core or similar type board no larger than 18” x 24” with samples or accurate photographic representation of all proposed exterior materials and colors. The project address and the designer’s name and phone number shall be included on the board, as well as the identity of the

manufacturer and the item specification number of each sample.

- 3. Applications for Improvement Plans shall include:
  - a. Final Grading Plan
  - b. Irrigation Plan (certified by a landscape architect), if applicable
  - c. Wall and Fence Plan, if applicable
  - d. Special Treatment/Buffer Area Treatment Plans, if applicable
  - e. Landscape Plan (with location, type, size, and quantity of plant materials)

**☐ SUBSEQUENT APPLICATION PROCESS**

Approval of the WHITTWOOD TOWN CENTER SPECIFIC PLAN indicates acceptance by the City Council of a general framework of development. Part of that framework establishes specific development standards that constitute the zoning regulations for the WHITTWOOD TOWN CENTER Specific Plan. It is further anticipated that this Specific Plan will be implemented through a final subdivision map.

It is anticipated that certain modifications to the Specific Plan text, exhibits, and/or project may be necessary during the development of WHITTWOOD TOWN CENTER. Any modifications to the Specific Plan shall occur in accordance with the subsequent application process described in this section.

Modifications to the Specific Plan may occur through two separate processes. The first category, “Substantial Conformance,” as defined below, allows for minor changes to the Specific Plan without a public hearing and may be approved by the Director of Community Development. All other proposed changes are considered “Formal Amendments” and are required to be reviewed for approval by the

Planning Commission and the City Council. In all cases amendments must be found to be in substantial conformance with the goals and standards of the WHITTWOOD TOWN CENTER Specific Plan.

Amendments may be requested at any time pursuant to Section 65453(a) of the California Government Code. If the amendment is deemed major by the Director of Community Development, it will be processed in the same manner as the original Specific Plan. Proposed amendments deemed to be minor modifications, as defined herein, will be processed administratively by the Administrative Review process.

Depending on the nature of the proposed Specific Plan Amendment, a supplemental analysis may be required, pursuant to the California Environmental Quality Act (CEQA), Section 15162.

## 1. SUBSTANTIAL CONFORMANCE

Upon determination by the Director of Community Development, certain modifications to the Specific Plan text, graphics, and/or project design may not require a Formal Amendment (i.e., through public hearing). The following minor modifications to the Specific Plan do not require a Specific Plan Amendment and are subject to review and approval by the Director of Community Development. The Director of Community Development shall retain the discretion to refer any such request for modification to the Planning Commission.

- Expansions or reductions of the net acreage covered by a given District within a Specific Plan Village by no more than 10% of that stated within this Specific Plan.
- Decrease in project density.
- Modification of design criteria such as paving treatments, architectural details, landscape treatments, fencing, lighting, and entry treatments.

- Changes to the Phasing Plan, provided infrastructure is available to serve the phase as determined by the City Engineer.
- Implementation of additional landscape treatments such as pocket parks and recreational facilities within neighborhoods and street furniture or portals in the right-of-way.
- Final facility sizing and precise location of dry utilities, water, sewer, and storm drainage improvements when directed by the City Engineer.
- Changes in utility and/or infrastructure servicing agency.
- Landscape, wall material, wall alignment, and streetscape modifications which are consistent with the design guidelines contained in this Specific Plan as determined by the Community Development Department.
- Modifications to Architectural Design Guidelines, such as variation of materials within the particular architectural style and minor variations in colors.
- Revisions to project graphics which do not substantially change the intent of the WHITTWOOD TOWN CENTER Specific Plan.
- Modifications to architecture, plotting, and unit or building size that have been previously reviewed and approved through the design review process.
- Specific modifications of a similar nature to those listed above, which are deemed minor by the Director of Community Development, which are in keeping with the intent of this Specific Plan and which are in conformance with the City of Whittier General Plan.

- Minor modifications to the uses in Table 3 or Table 4 or the Definitions of Terms in Section III; provided such modification does not provide for (i) a more permissive right to a similar use than is already permitted in the same district or (ii) any new use unless it is similar to other permitted or conditionally permitted uses in the same district.
- Minor modifications or deletions to General or Specific Provisions for uses permitted by Specific Condition, including Table 5.
- Any other proposed changes that are determined by the Director of Community Development to be minor modifications.

## 2. FORMAL AMENDMENTS

All Specific Plan modifications which do not meet the criteria of a Substantial Conformance as defined in this section shall be deemed to require a Formal Amendment. This Specific Plan was prepared pursuant to California Government Code 65450, et. seq. Amendments to the Specific Plan shall be processed in accordance with the applicable requirements of the law, which include Section 65450, et. seq. of the California Government Code.

Formal Amendments shall be subject to the review and approval of the City Council. The Planning Commission shall first hear and consider all applications for Formal Amendments to the Specific Plan. The Planning Commission shall prepare a recommendation and findings on all applications for Formal Amendments to the City Council. As required by the California Government Code, all agencies significantly affected by the Formal Amendment shall be notified of the proposed action prior to the approval. In addition, and as required by the California Environmental Quality Act (CEQA), Formal Amendments to the Specific Plan shall be appropriately reviewed in accordance with State CEQA guidelines, with the City of Whittier serving as the lead agency.

Any Formal Amendment to this Specific Plan initiated by the applicant shall require preliminary review by the City of Whittier Community Development

Director, filing of an official application and required materials supporting the amendment, submittal of a fee deposit, Planning Commission review and recommendations, and City Council review and final decision.

Amendments also may be initiated by the City Council or Planning Commission by majority vote. All requested Planning Commission amendments shall be submitted and considered by the City Council and accepted for processing by a majority vote. Staff may initiate an amendment by submitting the requested amendment to the Planning Commission for a vote. Only amendments accepted by majority vote of the Planning Commission shall be submitted to the City Council for consideration.

In considering approval or disapproval of Formal Specific Plan Amendments, the City Council shall find that the proposed:

- Is consistent with the General Plan and its Elements in effect at the time of consideration.
- Does not result in an incompatibility with surrounding land uses with respect to use, development standards, density, or issues of health, public safety, and general welfare.
- Is consistent with the overall design character and general project structure of WHITTWOOD TOWN CENTER as set forth in the Specific Plan's Design Guidelines (Section IV).
- Is not likely to cause substantial environmental damage, or substantially and avoidably injure significant wildlife or habitat.

## 3. EFFECTIVE DATE

All Formal Amendments, as defined in this Section and that are adopted by ordinance, shall take effect thirty (30) days after final adoption by the Whittier City Council.



## C. SPECIFIC PLAN TERMINATION

If after a period of ten (10) years from the effective date of this Specific Plan, no actions have been taken by the applicant to develop in accordance with the provisions of this plan, the City, after publishing a concurrent 30-calendar-day notice and mailing a 30-calendar-day notice to the applicant, property owner(s), and property owners within 300 feet of the Specific Plan boundaries, may declare the plan null and void. Actions which would demonstrate that the applicant is in the process of developing a plan are the recording of a final subdivision map or parcel map or the securing of a valid grading or building permit, and initiating actual construction such as to qualify vested rights.

## D. FINANCING PLAN

Although significant aspects of the Implementation Plan for WHITTWOOD TOWN CENTER will be financed directly by the developer, the City Council and/or Redevelopment Agency for the redevelopment project that encompasses WHITTWOOD TOWN CENTER may at its discretion establish measures that ensure reasonable and feasible means for funding full implementation of this Specific Plan.

Such measures may or could include a combination of portions or all of the various economic development strategies, incentives, and funding options outlined below. No such measures shall be undertaken by the City Council and/or Redevelopment Agency without adoption of specific detailed implementing legislation, unless such measures were in place prior to the adoption of this Specific Plan.

The Financing Plan for WHITTWOOD TOWN CENTER identifies possible strategies for financing improvements within the Specific Plan area. It is anticipated that the developer of WHITTWOOD TOWN CENTER will employ private resources to fund building construction and renovation. During the life of the Specific Plan, it may be determined that some of the improvements could or should be funded through other means

because of their public nature or because public assistance is required to fully implement the Specific Plan. Such improvements may include:

- Installation of landscaped medians on portions of Whittier Boulevard;
- Installation of curbs and gutters on portions of Whittier Boulevard, Santa Gertrudes, Scott Avenue, and Cullen Street;
- Installation of sidewalks throughout the Specific Plan area (as needed);
- Specific Plan area signage (both directional and area information signage);
- Planting of manufactured slopes within the Specific Plan area;
- Improved street lighting and replacement of existing fixtures with more decorative fixtures;
- Construction of project entry monumentation at Whittier Boulevard, Santa Gertrudes Avenue, and Scott Avenue; and,
- Implementation of the public pedestrian circulation system throughout the Specific Plan area.

Such improvements will give WHITTWOOD TOWN CENTER a new and stronger identity that has the potential to revitalize the area and encourage pedestrian circulation between land uses. Once such required or desirable infrastructure improvements have been determined by the City and project area property owners/business owners, it may become necessary to identify possible mechanisms for financing these public improvements. Possible financing mechanisms that may be

available to the City, Redevelopment Agency, master developer, project area businesses and property owners include:

- **Capital Improvement Program (CIP):** The Capital Improvement Program (CIP) is the City's multi-year planning instrument used to facilitate the timing and financing of capital improvements. The CIP identifies the sources of funds available for capital improvement projects.
- **Redevelopment/Tax Increment:** One of the various tools available to a redevelopment district is redevelopment/tax financing, which could be used for construction of off-site improvements such as infrastructure and parking, payment of City permits, fees, and costs, and rehabilitation loans and grants.
- **Community Development Block Grant (CDBG):** The City of Whittier receives CDBG funding from the U.S. Department of Housing and Urban Development (HUD). These funds are available for use on a range of economic development projects and activities. Section 108 loans are used by CDBG communities to undertake large development projects by guaranteeing loans secured by the communities' future CDBG funds. Using this mechanism, the City could raise some of the improvement funds for the WHITTWOOD TOWN CENTER Specific Plan area on a one-time basis for economic development purposes
- **Business Improvement Districts (BBID/PMID):** Historically, BIDs have involved assessments on business owners through the business license fee to raise funds that can then be used for marketing, promotion, security, special events, streetscape improvements, parking, and other costs.
- **Special Assessment Districts/Community Facilities Districts (CFDs):** Special assessment districts are used to

fund capital facilities such as roads, water, sewer, and flood control. Typically, property owners petition a City to form a district to finance large-scale infrastructure improvements. Special Assessment Districts require assessments on property owners in proportion to benefit received.

- **Parking District/Landscaping/Lighting District:** Parking, landscaping, and lighting districts are allowed under California law. These districts are more common in urbanized areas.
- **Development Impact Fees:** Development impact fees are paid by developers to defray all or a portion of the costs of any public facility which benefits the project. Fees may be levied to fund either capital facilities or ongoing services.

In addition, the City and/or Redevelopment Agency may elect to during the life of this Specific Plan to provide other redevelopment or project improvement incentives, which could possibly consist of the following:

- **"Fast Track" Permit Processing:** "Fast Track" permit processing requires City participation and allows development to proceed on an accelerated basis that saves the property owners, business owners, developers, and builder's valuable time and money.
- **FAR/Density Bonus:** An increase in the designated Floor Area Ratio (FAR)/density could be allowed in certain areas of the site to maximize development and use.
- **Parking Allowances/Shared Parking:** Permitting shared parking to service areas of compatible use would make existing, under-employed area available for other uses while fulfilling adequate parking requirements and

lowering development costs.

- **Fee Waivers:** This incentive, which would enhance the ability of land owners to develop or redevelop their land, could or would consist of reductions in or waivers of development fees (such as building inspection, plan check, subdivision fees, and/or development impact fees).
- **Improvement Loans/Grants (other than CDBG):** Renovation of existing structures within WHITTWOOD TOWN CENTER that do not come under the direct authority of the Specific Plan master developer could be accomplished with Façade Improvement Loans and/or Grants. These could come from several sources including Community Development Block Grant (CDBG)/ Section 108 revenues, redevelopment tax increment, or assessment district financing. Improvement loan and grant incentives require property owner/business owner participation.
- **Business Recruitment/Promotional Programs:** These programs require involvement by both City and business/property owners in coordinating activities to promote the area and recruit new investors, while also retaining current business owners. These programs may be partly sponsored by the City with funding from CDBG/Section 108, the General Fund, and/or a Business Improvement District or property based Business Improvement District.
- **Special Tax Assessments:** Public infrastructure improvements, including streetscape improvements, public parking provisions, water/sewer/storm drain improvements, and a public signage program, could be financed by special taxes or assessments. Business/property owner support would be required to successfully improve the area's infrastructure,

though funds may be available from redevelopment tax increment, gas tax, development impact fees, and/or the General Fund.

- **Public Infrastructure Improvements:** Such a program could be established to fund streetscape improvements, landscaping, street lighting, and street furnishings, adequate public parking facilities, new or upgraded water/sewer/storm infrastructures; and/or a public signage program for directional signs and area identification signs. Some of these incentives merely require public policy decisions, while others require property owners/business owner incentives. Possible sources of funding are: the General Fund, the gas tax, development impact fees, assessment district financing, and redevelopment tax increment financing.

WHITTWOOD TOWN CENTER

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master sign program



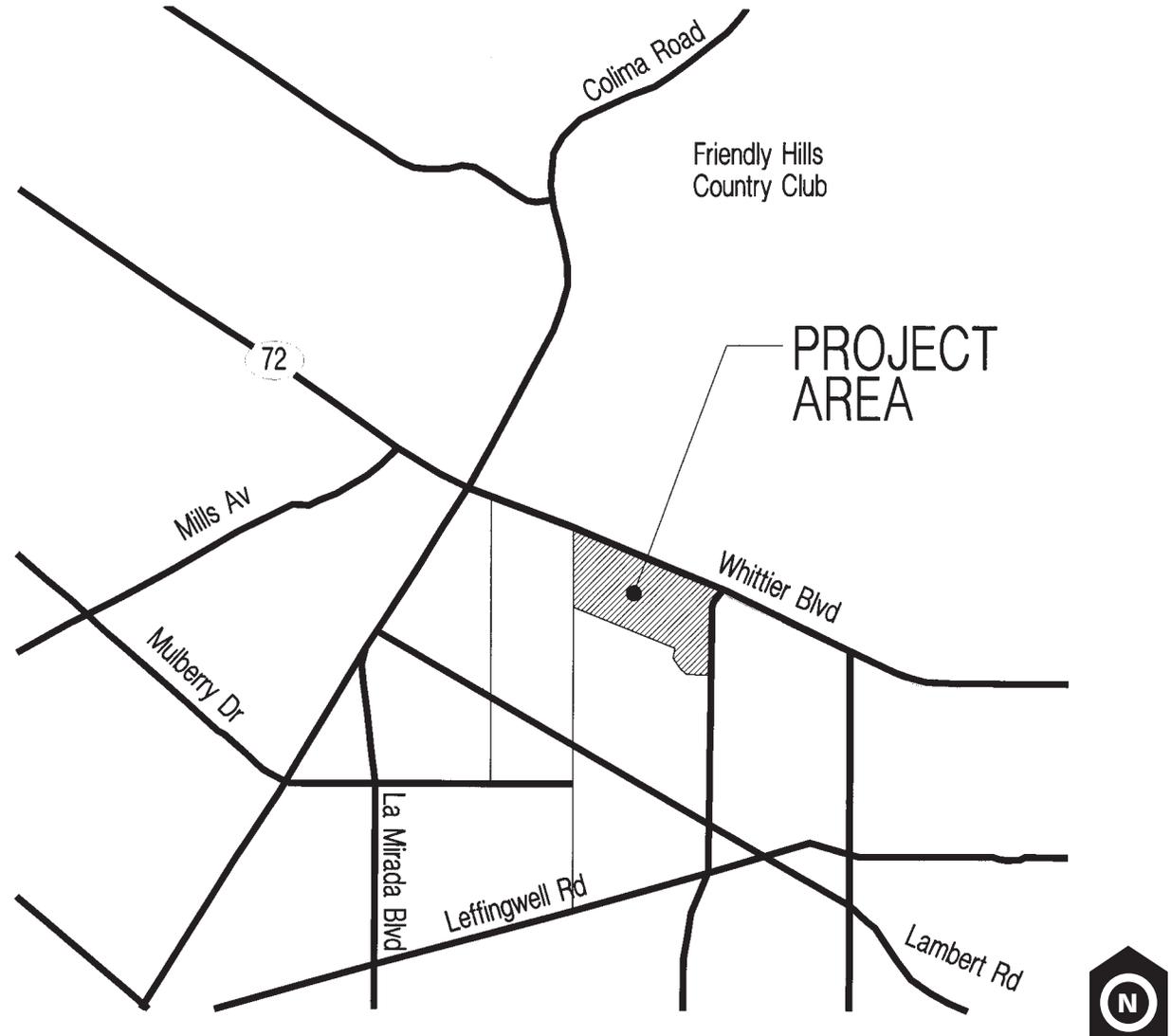
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October 2003

# Whittwood Town Center

Vicinity Map



# Whittwood Town Center

## Sign Criteria

### INTRODUCTION:

A. The following master sign program pertains to the commercial portion(s) of the Whittwood Town Center. The following outline are works to be provided by the Tenant. Tenant Signage shall be designed, fabricated and installed by the tenant at their own expense. Tenant Signage must be constructed from durable materials, meet all requirements set forth in this document, and shall be maintained by the Tenant.

### TENANT SIGN CRITERIA:

A. Please refer to the Tenant Sign Location Plan. Specific criteria may apply based on the location of your Tenancy. Tenants are encouraged to be creative with the development of environmental graphics as a part of their image. Tenants are encouraged to bring a sculptural & dimensional quality to their signs. Letters and graphics using depth will be looked upon more favorably than less dimensional graphics. Full size mock-ups of all signs may be required. Mock-ups may be constructed from foam core or illustration board. The Landlord reserves the right to test the Tenant's Mock-up sign in relationship to site conditions, prior to approvals. All Tenants are required to supply material and paint samples to Landlord and Designer for approval. In some instances a partial or full size prototype of the Tenant's sign may be required also.

B. Any Tenant space that exceeds one or more Shell Building module must comply each module to the General Sign Criteria, whether or not doors are provided. Unless approved by landlord, no electrical or structural members shall penetrate the "Shell Building" including Bulkhead and neutral piers.

### EXEMPT SIGNS

The following signs are exempt from the provisions of this chapter:

A. Any sign, posting, or notice used exclusively to display official governmental notices, notice of any court of public office or those posted by a public officer in the performance of a public duty, or

required by a public entity to protect the public health, safety and welfare, or otherwise required by law;

B. Street name and traffic control signs, directional signs, public informational signs placed by governmental agencies, historical markers placed by a governmental agency, railroad crossing, danger or other emergency warning signs;

C. Signs which guide or direct traffic in parking lots and facilities provided no such sign exceeds six (6) square feet in background sign area nor six (6) feet in height;

D. Signs used for public convenience such as restroom signs, telephones or similar uses (without advertising);

E. Signs located entirely within a building and not within three (3) feet of a window, and therefore, not visible from the exterior of the building.

F. Existing tenant signage, prior to approval of master sign program.

### PROHIBITED SIGNS

New construction, installation or placement of the following types of signs are prohibited:

A. Pole signs

B. Balloon strings

C. Roof signs

D. Vehicle-mounted signs

E. Outdoor advertising structures (Section Sec.68)

F. Animated signs, excluding time and temperature signs and barber poles

G. Signs that produce smoke, sound or other emissions

H. Any sign containing fluorescent colors.

I. Can Sign.

J. Inflatable Characters.

### APPLICABILITY OF DEFINITIONS

The following definitions shall apply to terms used within this chapter:

#### A. ABANDONED SIGN.

A sign for which a tenant or business owner no longer occupies the site upon which the sign is located.

#### B. A-FRAME SIGN.

A sign typically hinged at the top, or attached in a similar manner, and widened at the bottom to form a shape similar to the letter "A."

#### C. ACCESSORY SIGN.

Any and all permanent signs referred to in this chapter, except main signs.

#### D. ANIMATED SIGN.

A sign, or portion of a sign, an integral part of which is in action or motion, or which flashes or changes color electronically.

#### E. AWNING.

An appendage extending from the exterior wall of a building, typically used for shading, and composed of non-rigid materials except for the structural framework.

#### F. AWNING SIGN.

A sign painted on or attached to the surface of an awning.

#### G. BACKGROUND SIGN AREA.

The area included within the outer dimensions of the sign face containing lettering, writing, representation or logo, forming an integral part of the display and measured in square feet. Support structures for freestanding signs shall not be included in the sign area except when designed in a manner to further display text or lettering pertaining to the subject business. For wall or projecting signs that do not contain a clear and/or rectangular border, the area shall be com

puted on the basis of enclosing the entire sign within two sets of parallel lines.

#### H. BALLOON STRING.

An arrangement of one (1) or more balloons, with or without any text thereon, which are inflated with air or helium and tethered to a fixed location intended to draw attention to a specific location.

#### I. BANNER.

A sign fabricated of plastic, cloth or similar material attached to building.

#### J. CAN SIGN.

A sign constructed of a solid cabinet that is not sculpted to the shape of its contents.

#### K. CANOPY SIGN.

A sign attached beneath or placed upon the structural projection or canopy of a building.

#### L. CHANGEABLE-COPY SIGN.

A sign which is characterized by changeable copy.

#### M. CONSTRUCTION SIGN.

An on-site, non-illuminated sign displayed to advertise the name and address of the individuals, firms or future tenants connected with a construction project.

#### N. COPY.

Any written words, letters, symbols, emblems, designs, figures and logos used to attract attention to, or identify a land use.

#### O. DIRECTIONAL SIGN.

Freestanding, ground, wall, projecting or awning signs designed and used to guide or direct pedestrian or vehicular traffic.

# Whittwood Town Center

## Sign Criteria

### P. DIRECTOR

City of Whittier Community Development Department Director.

### Q. ENVIRONMENTAL GRAPHIC SIGN

A thematic element within the property used to reinforce the architectural theme of the district. Signage graphics are restricted to thematic, holiday, or seasonal graphics. Individual tenant or product advertisement or signage is prohibited on environmental graphic signs. Environmental graphic signs are exempt from being included in sign area calculations.

### R. FACADE, PRIMARY.

The horizontal dimension of a building facade which faces a public street.

### S. FACADE, SECONDARY.

A building facade that contains a public entrance, but which does not also face a public street.

### T. FACADE, TERTIARY

A building facade that does not contain a public entrance.

### U. FESTOON.

Decorative material or bunting typically attached to a freestanding light standard, used as a means to draw attention to a business.

### V. FREESTANDING SIGN.

A sign installed on the ground and detached from any building or wall. Freestanding signs include, but are not limited to, monument, pylon and pole designs.

### W. HEIGHT.

The greatest vertical distance measured from the finished grade of the sidewalk or top of a curb, whichever is less, to the top of a sign or a sign structure.

### X. ILLUMINATED SIGN.

A sign which uses a source of light in order to make readable its copy, and shall include internally or externally lighted signs.

### Y. INFLATABLE CHARACTER.

An inflatable, balloon-like character, character representation, logo or other design, generally tethered to the ground or the roof of a structure.

### Z. INSTITUTIONAL USE.

For the purpose of this chapter, institutional uses shall include facilities supporting public services such as churches and other places of worship; educational institutions (public and private); hospitals; centers for public gathering, including facilities used for sporting events.

### AA. LOGO.

A visual symbol, representation or character identifying the business or service provided, which may be all or a portion of the sign.

### BB. MAIN SIGN.

A permanent sign affixed to the wall of building or constructed upon the ground to include freestanding, wall, canopy, awning, and projecting signs.

### CC. MONUMENT SIGN.

A freestanding sign designed with its horizontal dimension greater than its vertical dimension and supported by a pedestal base. New monument signs shall not be permitted.

### DD. NONCONFORMING SIGN.

Any sign that does not conform to all the provisions of this chapter.

### EE. PENNANT.

A flag, string of flags or similar objects used as a means to draw attention to a business.

### FF. PERMANENT SIGN.

Includes all signs referred to in this chapter, except temporary signs.

### GG. POLE SIGN.

A freestanding sign supported by one or more structural columns devoid of architectural detail and lacking integration into the sign background and face.

# Whittwood Town Center

## Sign Criteria

### HH. POLITICAL SIGN.

A sign advertising any candidate for public office, a proposition or other political issue.

### II. PORTABLE SIGN.

Any sign not permanently attached to the ground or a building.

### JJ. PROJECTING SIGN.

A sign affixed to a building facade placed at an angle perpendicular to the building's exterior wall or bisecting the corner of a building.

### SS. PROMOTIONAL SIGN.

A sign, in addition to a permanent sign, installed on a temporary basis and used to promote a special event or product available at the site on which the sign is located.

### LL. PYLON SIGN.

A freestanding sign designed with its vertical dimension greater than its horizontal dimension and supported by a single pedestal base or architecturally integrated support posts.

### MM. READERBOARD.

A sign containing, in whole or in part, electrical devices allowing for changing copy, text or content. Electric time and temperature signs shall not be considered a readerboard.

### NN. REAL ESTATE SIGN.

A sign indicating that a lot on which the sign is located, or any building or structure located thereon, is for sale or lease.

### OO. ROOF SIGN.

Any sign which is erected upon or above a roof of a building and attached to the same, not to include signs mounted on the face of a parapet.

### PP. SIGN.

Any writing (including letter, word, or numeral), pictorial presentation (including illustration or decoration), emblem (including device, symbol or trademark), flag (including banner or pennant) or any other device, figure or similar character which:

1. Is a structure or any part thereof, or is attached to, painted on, or in any other manner represented on a building, other structure or device; and
2. Is used to announce, direct attention to or advertise; and
3. Is visible from the outside of a building.

### QQ. SIGN PLACEMENT AREA.

The largest flat and uninterrupted wall plane of either a primary or secondary facade, not to include windows.

### RR. STREET FRONTAGE, PRIMARY.

The linear dimension of the property line or lot line adjacent to a public street. For lots with more than one street frontage, the primary street frontage shall be determined as the property line adjacent to the widest public street.

### SS. STREET FRONTAGE, SECONDARY.

The linear dimension of a street frontage other than the primary street frontage, including private streets. Refer to "Internal Circulation Plan" (Figure 17) of the Whittwood Town Center specific plan.

### TT. SUBDIVISION TRACT SIGN.

An on-site sign displayed for the purpose of advertising a subdivision or condominium project.

### UU. TEMPORARY SIGN.

Any sign subject to a time limitation or used for a limited time period or purpose.

### VV. TENANT, FOOD COURT

Any tenant in buildings 20-22 on the signage location plan.

# Whittwood Town Center

## Sign Criteria

### WW. TENANT, MAJOR

Any tenant in buildings 23-26 on the signage location plan.

### XX. TENANT, PAD BUILDING

Any tenant in buildings 5-7, 9-12, 31-32 on the signage location plan.

### YY. TENANT, RETAIL

Any tenant in buildings 14,15,28,29, on the signage location plan.

### ZZ. TIME AND TEMPERATURE SIGN.

A sign which presents time and temperature information in electronic copy.

### AAA. VEHICLE-MOUNTED SIGN.

A sign attached to, placed within, or placed atop a stationary vehicle for the purpose of providing signing for a fixed use. A sign painted, affixed, etched, or magnetically attached to the door or side of a delivery or service vehicle shall not be considered a vehicle-mounted sign.

### BBB. WALL SIGN.

A sign affixed to or painted on the facade of a building with the sign face parallel to the facade and that which does not project more than 12 inches from the building wall.

### CCC. WINDOW SIGN.

Any sign placed upon window glazing or within three (3) feet inside a window and intended to be visible from the building's exterior.

### PERMITS REQUIRED

Plan review shall be required for the construction, erection, installation, relocation or alteration of all temporary or permanent signs in the city. Plan review shall be conducted by the Director or his

designee. Nothing in this section shall be construed to exempt any individual or business from obtaining permits and/or approvals which may be required by other provisions of this code, including building permits.

A. The following table outlines the type of sign, review procedure and approval authority:

Sign Type	Review procedure	Approval Authority
Banners, flags, similar displays	Sign Plan Review	Planning Manager
Banners, and similar sign types for outdoor display uses only	Promotional Sign Program reviewed on an annual basis	Planning Manager
Permanent Window Signs	Sign Plan Review	Planning Manager
Walls signs, (including painted wall signs), projecting, awning, and freestanding signs in all zones	Sign Plan Review and compliance with Master Sign Program	Planning Manager
Signs included in projects requiring Development Review	Sign Plan Review within Development Review application	Planning Manager
Signs included in projects requiring a CUP	Sign Plan Review within CUP application	Planning Manager

Table 1 - Review Procedures

# Whittwood Town Center

## Sign Criteria

### ARCHITECTURAL COMPATIBILITY

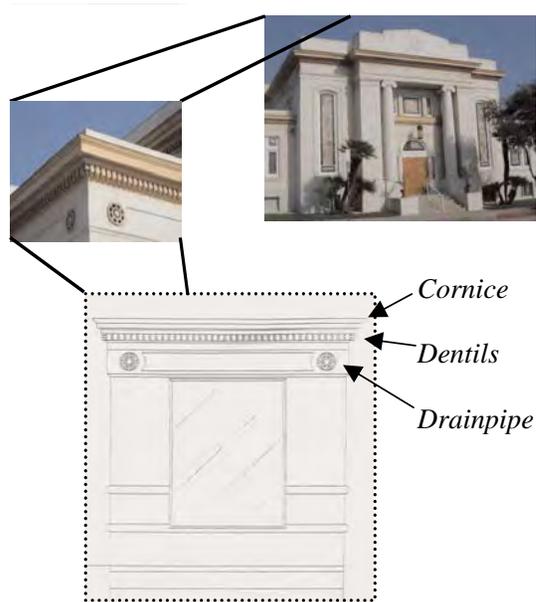


Figure 2 - Architectural Compatibility

The following standards are applicable to the design, construction and placement of all signs in all zones:

- A. The sign design shall reflect the architectural design of the structure to which it is associated. The predominant architectural style and features of the building shall be considered in all elements of the sign design including, but not limited to, proposed lettering, font sign fabrication, and illumination.
- B. All signs shall incorporate the major design elements of the building or structure to which it relates. The design, materials, and colors of the sign shall complement the design, materials and colors used on the building exterior.

C. Fluorescent colors are considered inappropriate and are prohibited.

D. For the purpose of providing adequate emergency services, all signs shall contain readily legible lettering styles with the name of the business written in the English alphabet.

E. Sculpted cabinet signs designed as logos are encouraged, particularly when they support the architectural style or era of the building.

F. Illumination of signs shall be internal, except for designs that utilize other forms of illumination such as exposed neon, decorative light fixtures attached to the facade, flexible tubing, and architecturally-integrated uplighting or backlighting.

G. The lighting design shall be approved on the basis of consistency with the architectural design or character of the building to which it relates as well as the district or neighborhood in which it is located.

H. The scale, size, design and proportion of an existing sign shall not be modified unless integrated through a comprehensive redesign of the original sign.

### WALL SIGNS

The following standards are applicable to the construction and placement of wall signs:

A. Number.

The number of wall signs shall be limited to the following:

1. One (1) sign per business or one (1) sign per business public entrance per primary facade that the business fronts on; and
2. One (1) sign per business or one (1) sign per business public entrance on one secondary or tertiary facade at up to 50% the allowable size of the primary facade sign.

# Whittwood Town Center

## Sign Criteria

### B. Location.

The location of wall signs shall be limited to the following:

1. A wall sign shall be attached parallel to and in front of any exterior wall of a building and shall not protrude more than 12 inches from the wall of the building to which it is attached.
2. Wall signs shall not be permitted on freestanding exterior walls or fences upon the property.
3. Wall signs shall not be located in areas of the facade which cover significant architectural details of the building.

### C. Allowable Background Sign Area.

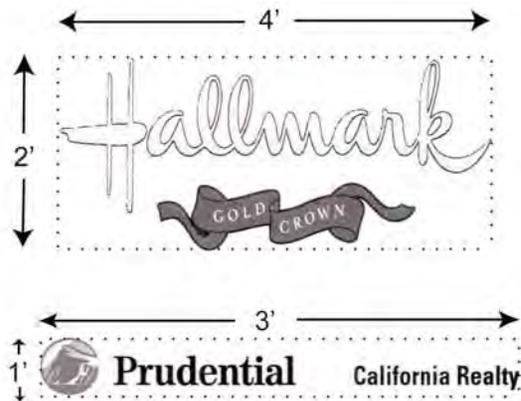


Figure 2 - Calculating Background Sign Area

Background Sign area shall be limited to the following:

1. Wall signs shall not exceed two (2) square feet for each lineal foot of the primary facade.

D. Maximum Sign Length. The maximum length of a wall sign shall not exceed 75% of the horizontal length of either the primary or secondary facade.

E. Maximum Letter Height. The maximum letter height of a wall sign shall not exceed 75% of the vertical distance of the sign placement area. In no event shall the allowable letter height be required to be less than twelve (12) inches.

Class	
<i>Wall Signs</i>	
Background Sign Area	2 sq.ft. per lineal foot of primary or secondary facade
Length	≤ 75% of horizontal length of facade
Letter Height	≤ 75% the vertical distance of the sign placement area

Table 2 - Wall Signs

F. Content. The content of a wall sign shall be limited to the business name, logo, or use identification. Advertisement of products, services or business phone numbers or web sites shall not be contained within a wall sign.

G. Fabrication. Fabrication of wall signs shall conform to the following standards:

1. Only individual channel letters, including reverse channel letters, and sculpted cabinet signs are permitted for all commercial and manufacturing zones.
2. Can signs constructed of sheet metal cabinets with acrylic faces shall not be permitted. Individual can signs used for individual letters may be used only with the approval of the Director.
3. Individual letters and sculpted panels shall be recessed, framed or otherwise decoratively defined to add relief to the sign design.
4. Painted wall signs shall only be permitted with approval of

# Whittwood Town Center

## Sign Criteria

the Director upon recommendation of the Design Review Board.

5. Fabrication methods of wall signs other than those described shall be reviewed for consistency with the building architecture and the design guidelines found within this chapter.

### **PROJECTING SIGNS**

Projecting signs are permitted in lieu of a freestanding sign for businesses located on the ground floor.

#### A. Number.

The number of projecting signs shall be limited to the following:

1. One (1) sign per primary facade; or
2. One (1) sign per secondary facade for those buildings that do not contain a primary facade as previously defined.

#### B. Location.

The location of projecting signs shall be limited to the following:

1. A projecting sign shall be attached perpendicular to the exterior wall of a building or placed to bisect the corner of a building.
2. No projecting sign shall extend above the building parapet or roof eave line unless the sign is consistent with the architectural style and era of the building, as determined by the Director.
3. No projecting sign shall be supported by devices located upon a roof.
4. All projecting signs shall maintain a clearance of eight feet from grade.
5. Projecting signs shall not be permitted on freestanding exterior walls, fences or light fixtures contained upon the property.

6. Projecting signs shall be placed within the sign placement area, either in whole or in part.
7. For separate structures or adjoining tenant spaces with shared side walls: a projecting sign shall maintain a minimum distance of (5) feet from the property line or lease line separating the adjacent structures or tenant spaces.
8. For separate structures or tenant spaces with immediately adjacent side walls: a projecting sign shall maintain a minimum distance of five (5) feet from the property line separating the immediately adjacent structures or tenant spaces.
9. For freestanding buildings: a projecting sign shall maintain a minimum distance of three (3) feet from the edges of the building exterior side wall of the primary frontage or secondary frontage unless it bisects the corner of the building.
10. Projecting signs shall maintain a minimum distance of ten (10) feet between one another whether located upon the same parcel under common ownership or adjacent parcels under separate ownership.

#### C. Allowable Background Sign Area.

The maximum allowable background sign area of a projecting sign shall not exceed one (1) square foot for each lineal foot of either the primary or secondary facade.

#### D. Maximum Sign Length.

The maximum length of a projecting sign shall not exceed 25% of the overall height or vertical distance from roof peak to finished grade of the building frontage to which it is attached.

#### E. Content.

The content of a projecting sign shall be limited to the business name and/or logo with the addition of up two primary products or services. Advertisement of more than two products or services or

# Whittwood Town Center

## Sign Criteria

the inclusion of a business phone number shall not be contained within a projecting sign.

### F. Fabrication

1. Projecting signs fabricated with faces consisting entirely of wood or non-illuminated metal shall be permitted in the specific plan area when deemed consistent with the architectural style and era of the structure to which it relates. Internally-illuminated projecting signs shall not be permitted within the specific plan area.

	Specific Plan Area
Number	1 per primary street façade  1 per secondary façade for buildings that lack a primary façade
Maximum Back-ground Sign Area	1 sq. ft. per lineal foot of primary or secondary façade.
Maximum Sign Length	≤ 25% of the overall height or vertical distance from roof peak to finished grade of adjacent building frontage.
Remarks	

**Table 3 - Projecting Signs**

2. Rectilinear can signs constructed of sheet metal cabinets with acrylic faces shall not be permitted in any zone. Sculpted projecting signs with opaque background and raised or routed lettering are required.
3. Fabrication methods of projecting signs other than those described shall be reviewed for consistency with the architecture of the subject building and the design guide lines found within this chapter and approved or denied on that basis.

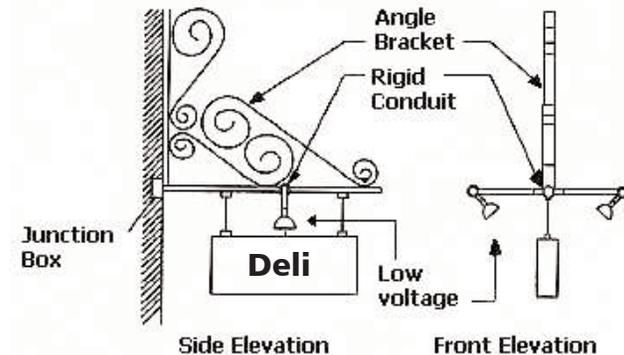


Figure 3 - Architecturally Integrated Support and Accessory Devices

4. Supporting devices shall be architecturally integrated into the structure or screened from view.

### G. Illumination.

Decorative forms of illumination such as exposed neon, decorative light fixtures attached to the structure, flexible tubing, and architecturally-integrated uplighting are permitted for projecting signs within all commercial and manufacturing zones.

### AWNINGS AND AWNING SIGNS

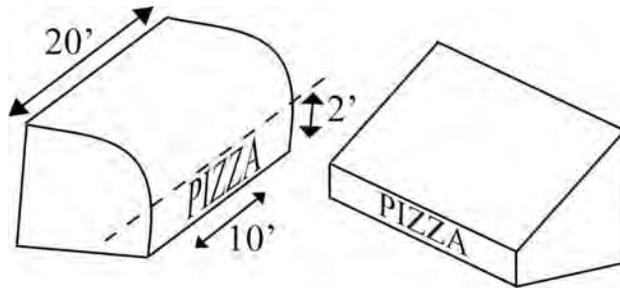


Figure 4 - Awning Signs

Awning or canopy signs shall be permitted for each business located on the ground floor and abutting a public street or public walkway, not to include alleys or service entries, and shall be subject to the following standards:

#### A. Number

1. Each individual awning may contain a single sign advertising the business name and one product or service provided at the site.
2. All awnings or canopies shall be centered directly above a public entry or transparent window on the ground floor of a building.
3. Awnings or canopies may extend, uninterrupted, the length of a building facade containing a public entrance or facing a public street, provided the awning or canopy complements the architectural style of the building and is not illuminated.

B. Allowable Background Sign Area. The area of the sign placed on the awning or canopy shall not exceed 75% of the total area of its fascia or flap.

#### C. Fabrication

1. All awnings or canopies shall be installed per industry standards as well as regulations governing their construction and installation described in the Uniform Building Code and Whittier Municipal Code.
2. Awnings or canopies shall be fabricated of canvas or other similar natural material approved by the Director. Vinyl awnings are acceptable only when they are not internally illuminated.
3. The shape of the awning or canopy shall reflect the architectural style of the building to which it relates.
4. Letter-type and graphics must be integrated onto canopy fabric by silk-screening or heat transfer. Single color for such elements is preferred.

#### D. Maintenance

1. All awnings or canopies shall be maintained in good repair. Awnings or canopies shall be removed and replaced when faded, torn, broken, discolored or otherwise deteriorated.
2. Awnings or canopies shall be replaced or completely removed when the business to which the awning sign relates vacates the tenant space. New tenants shall replace the awning or canopy fabric prior to including signs displaying their business name.
3. An awning may be painted with a business name and/or products only once. Awnings may not be repainted under any circumstances.

### PERMANENT WINDOW SIGNS

Any sign placed upon window glazing or within three (3) feet of a window intended to be visible from the building's exterior shall be considered a window sign and shall be subject to the following standards:

# Whittwood Town Center

## Sign Criteria

- A. Location.  
Window signs shall only be permissible for transparent windows. Opaque windows shall contain neither permanent nor temporary window signs.
- B. Allowable Background Sign Area. Total area of all window signs displayed within a single window shall not exceed 10% of the total window area.
- C. Such elements will be non-illuminated and either etched, painted or screen-printed in window glazing.
- D. Maintenance
1. Window signs shall be considered abandoned once the business or tenant to which they pertain no longer occupies the building or tenant space and thus shall be subject to regulations and processes outlined within the Abandoned Signs section of this chapter.
  2. Temporary window signs are specifically addressed under the Temporary Signs section of this chapter.
- E. The following window graphics are not permitted:
1. Credit card logos
  2. Posters, advertising, or menus
  3. Stickers or adhesive graphics

### FREESTANDING SIGNS

Freestanding signs are permitted in the specific plan area. Refer to pages 22-26 for additional information. Freestanding signs shall be subject to the following standards:

- A. Number
1. The specific plan area shall refer to page 21 for number and location of freestanding signs. Any additional signage shall be subject to review and approval of the Director.

- B. Location

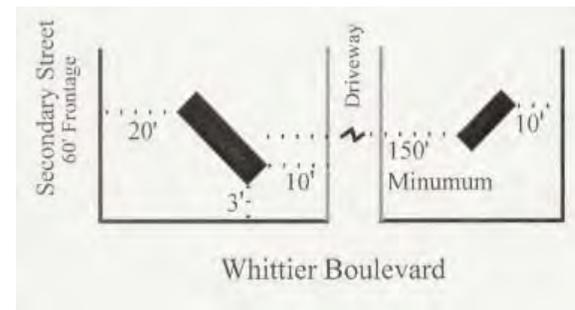


Figure 5 - Location of Monument Signs (within landscape planter)

1. A monument sign shall be located a minimum of five (5) feet from the property line along the primary or secondary street frontage.
2. A monument sign may extend up to three (3) feet into the required five (5) foot setback when placed within a landscaped planter area that contains an automatic irrigation system reviewed and approved by the City of Whittier Park Department.
3. A pylon sign shall be located a minimum of ten(10) feet from the property line along either the primary or secondary street frontage.
4. No freestanding sign, in whole or in part, shall project into the required public right-of-way.
5. All freestanding signs shall be placed a minimum of ten(10) feet from any driveway or point of egress or ingress on the applicable property or any adjacent property.
6. All freestanding signs shall be placed a minimum of ten (10) feet from the side lot line or shared property line separating two independent parcels not part of the same development.
7. A minimum separation of 150 feet shall be maintained between all freestanding signs located along Whittier Blvd. a minimum separation of 125' feet shall be maintained between all freestanding sign located along Santa Gertrudes Ave.

# Whittwood Town Center

## Sign Criteria

### C. Maximum Sign Area

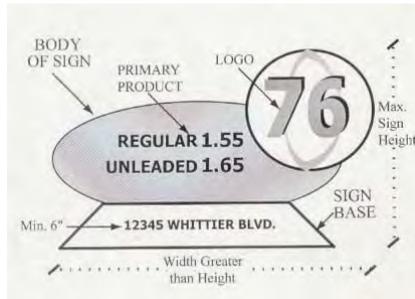


Figure 6 - Monument Sign

1. The specific plan area allows:
  - (i) The maximum aggregate area for all freestanding signs shall be one (1) square foot of sign area per each lineal foot of street frontage of the site.
2. More than one (1) freestanding sign shall be permitted on a single lot provided the total aggregate area of all freestanding signs does not exceed the maximum allowable background sign area described for each zone.
3. For corner lots only:
  - (i) Both the primary and secondary street frontage shall be calculated separately based upon the dimensions of each individual frontage.
  - (ii) The calculation for maximum allowable area for freestanding signs shall not be transferable between street frontages.
  - (iii) Signs placed along the secondary street frontage of a corner lot shall not exceed sixty percent (60%) of the allowable square footage of signs permitted along the primary street.

### D. Maximum Sign Height

The maximum height of a free standing sign shall be measured from street grade at Whittier Blvd., and determined

as follows:

Class	Specific Plan Area
<b>Free Standing</b>	
Area	1 sq.ft. per lineal foot of street frontage
Architectural Elements	pylon sign: 45' max monument: 8' max
Center Identification Signage	pylon sign: 35' max monument: 8' max
Tenant Signage	pylon sign: 35' max monument: 8' max

Table 4 - Freestanding Sign Standards

1. Specific Plan Area Pylon Signage:
  - a. Architectural Elements shall not exceed a maximum of forty-five (45) feet in height.
  - b. Center Identification Signage shall not exceed a maximum of thirty-five (35) feet in height.
  - c. Tenant Signage shall not exceed a maximum of thirty-five (35) feet in height.
2. Specific Plan Area Monument Signage:
  - a. Architectural Elements shall not exceed a maximum of eight (8) feet in height.
  - b. Center Identification Signage shall not exceed a maximum of eight (8) feet in height.
  - c. Tenant Signage shall not exceed a maximum of eight (8) feet in height
- E. Content
  1. All freestanding signs shall include the numerical street address designed with numbers a minimum of six (6) inches in height.
  2. Street numbers shall complement the style and font used for the main lettering on the sign and shall be placed on all freestanding signs.

# Whittwood Town Center

## Sign Criteria

3. For single-tenant signs: The content of a single tenant freestanding sign shall be limited to the business name and/or logo with the addition of up to two (2) primary products or services. The inclusion of a business phone number or web site shall not be contained within a freestanding sign.

4. Multi-tenant signs:

Figure 7 - Multi-Tenant Pylon Sign



The content of a multi-tenant freestanding sign shall be limited to the name of the center with the optional addition of a logo, character representation or other decorative feature as well as identification of individual tenants.

- b. A minimum of eight (8) inch letters shall be used for the name of the center on multi-tenant freestanding signs.
- c. A minimum of six (6) inch letters shall be used for individual tenant or business names on multi-tenant freestanding signs.

- d. When designed with removable plexiglass panels for individual tenants, a standard panel length, height, font and background color shall be established within the freestanding sign design.

- F. Fabrication

1. Freestanding signs shall be designed as monument or pylon signs only. Pole signs, as defined within this chapter, shall not be permitted.
2. All copy on freestanding signs shall be of individual channel letters, routed push-through letters or logos, sculpted cabinets with opaque background material, or other three-dimensional designs as approved by the Planning Director.
3. Any other fabrication methods of freestanding signs shall be reviewed for consistency with the architecture of the subject building and the design guidelines found within this chapter.

- G. Directional Signs

1. Directional signs shall not exceed twelve (12) square feet in background sign area.
2. Directional signs shall not exceed six (6) feet in height.
3. Directional signs shall not display any advertising copy except the name, logo or symbol of the owner of occupant of the lot upon which located.

### TIME AND TEMPERATURE SIGNS

Time and temperature signs must be ancillary to, and incorporate the design of, primary signs; and, are subject to the following limitations:

1. Time and temperature signs shall not be considered a readerboard sign and shall be limited to display the time and temperature only.
2. Square footage of time and temperature signs shall be included in the overall allowable square footage of permanent signs permissible at the site.

# Whittwood Town Center

## Sign Criteria

### TEMPORARY SIGNS

#### A. Prohibited Temporary Signs

The following types of temporary signs shall be prohibited for all zones and all uses on any property within the city:

1. Balloon strings, with or without text
2. Vehicle-mounted signs
3. Inflatable characters

#### B. Permissible Temporary Signs

The following temporary signs shall be permitted for the specific plan area.

1. A sign required by law.
2. A sign owned by a governmental agency.
3. Public utility signs which contain no advertising copy, and which are customarily used in conjunction with the lawful performance of the utility's function.
4. Banners

#### C. Political Signs

Political signs shall be permitted provided that:

1. Background sign area does not exceed four (4) square feet; and
2. Are removed within thirty (30) days after their placement by the owner or occupant of the lot upon which the same is located, or by 7 p.m. the day following the election to which they relate.

#### D. Permissible Temporary Signs (Outdoor display uses)

The following types of temporary signs shall be permissible for outdoor display uses within the specific plan area.

1. Banners
2. Festoons (no text)
3. Pennants or pennant strings
4. A permit for temporary Outdoor Display Use signs may not be granted to the same business or location for more than thirty (30) days at a time and may be granted no more than four (4) times in one calendar year.

#### E. Banners

The following limitations shall be applicable to all banners:

1. All banners shall be constructed of plastic, vinyl, canvas or other weather resistant material. Paper, cardboard, clear plastic or other similar material shall not be permitted for banner fabrication.
2. Banners shall not be used in lieu of a permanent sign.
3. All banners shall be located entirely within the subject property and shall not be permitted to project over property lines or into the public right of way.
4. All banners shall be attached to an exterior building wall, located below the eave or roof parapet. No banners shall be permitted above the eave or roof line, on freestanding light fixtures, ancillary buildings, vehicles, landscape features or plant materials,
5. Temporary banners shall not exceed one-half (1/2) square foot per each lineal foot of street frontage.
6. For multi-tenant commercial or manufacturing development, temporary banners shall not exceed one (1) square foot per lineal frontage of each tenant or unit space.
7. A permit for all banners shall be obtained prior to their installation. Review of size, material, and location of the banner shall be conducted by the Director.
8. A permit for temporary banners may not be granted to the same business or location for more than thirty (30) days at a time and may be granted no more than four (4) times in one calendar year.
9. All temporary banners shall be clean and properly maintained. Torn, faded, sagging or detached banners shall be immediately removed, replaced or repaired.

#### F. Pennants

Pennants shall only be permitted and subject to the following standards:

1. All pennants or pennant strings shall be entirely located within the subject lot. Pennant strings shall not be permitted to extend beyond perimeter property lines nor be attached to structures located on adjacent properties.

# Whittwood Town Center

## Sign Criteria

2. Pennants shall not contain any text nor advertise any products or services provided by the business.
3. Pennants or pennant strings, and their installation, shall be approved through the Promotional Sign Program process subject to review by the Director.
4. A permit for temporary pennants may not be granted to the same business or location for more than thirty (30) days at a time and may be granted no more than four (4) times in one calendar year.

### G. Festoons

Festoons shall only be permitted for outdoor display uses subject to the following standards:

1. Festoons may be placed on light standards or other vertical elements located on the subject property, located over the outdoor display area of the subject lot.
2. Festoons may project into the public right of way a maximum twelve (12) inches with a minimum clearance of eight (8) feet from the adjacent sidewalk.
3. Festoons shall not contain any text or advertisement of products or services provided by the subject business.
4. Festoons, and their installation, shall be approved through the Promotional Sign Program process subject to review by the Planning Director
5. A permit for temporary festoons may not be granted to the same business or location for more than thirty (30) days at a time and may be granted no more than four (4) times in one calendar year.

### H. Commercial Real Estate Signs

1. Specific Plan Area:
  - a. Background sign area of each sign shall not exceed one hundred (100) square feet.
  - b. Signs shall not exceed twelve (12) feet in height.
  - c. A maximum of four signs shall be permitted.

### I. Construction Signs

Class	Sign Type	Max. Number	Max. Sign Area	Max. Height	Remarks
<b>TEMPORARY SIGNS</b>					
Real Estate	Free-standing	1/yard	6 sq. ft.	6'	
Real Estate Directional	Free-standing	3	4 sq. ft.	4'	
Subdivision Tract	Free-standing	1 sign for each 20 lots or fraction thereof.	100 sq. ft.	6'	
Construction	Free-standing	One sign per each street frontage	32 sq. ft.	8'	

Table 5 - Permitted Temporary Signs in specific plan area.

1. Construction signs shall be permitted on specified lots where a building or structure is being erected to identify the architect, engineers, financial agent and/or the contractor, provided that:
  - a. Such signs shall not be permitted in the specific plan area, unless said building or structure under construction relates to an approved conditional use permit or unclassified use permit.
  - b. Plans and/or a rendering of the development project shall be placed in a visible area of the site for public viewing during construction.
  - c. Permissible signs relating to a conditional or unclassified use within the specific plan area, shall not exceed fifteen (15) square feet in background sign area.
  - d. Construction signs located within the specific plan area shall not exceed thirty-two (32) square feet in background sign area.

# Whittwood Town Center

## Sign Criteria

- e. Such sign is not used for sale, lease or rental purposes.
- f. Permissible construction signs shall not exceed eight feet in height.
- g. One construction sign shall be permitted for each street frontage of the lot upon which it is located.
- h. Permissible construction signs shall be placed in a location on the lot approved by the Director
- i. Construction signs shall be removed within fourteen (14) days after completion of the construction of the project to which it relates, as determined by the city's records.

### J. Maintenance of Temporary Signs.

Temporary signs shall be properly maintained at all times. Faded, torn, ripped, detached, defaced, or an otherwise damaged temporary sign shall be promptly repaired, replaced or removed.

### K. Promotional Sign Program.

The Promotional Sign Program involves the annual review of proposed plans for promotional and temporary signage for outdoor display land uses only. The purpose and intent of the Promotional Sign Program is to require the appropriate use, placement and maintenance of temporary signs for unique land uses requiring outdoor promotion due to a lack of indoor display areas for products sold on the premises.

1. Minimum Requirements:
  - a. Applications for Promotional Sign Programs shall only be accepted for outdoor display uses contained within the specific plan area.
  - b. Promotional Sign Programs shall be approved only for outdoor display uses located within the specific plan area
  - c. All other uses shall be limited to temporary signage permissible under the temporary sign section.
2. Application Required
  - a. An application for the Promotional Sign Program may be obtained within the Planning Department.

- b. The Promotional Sign Program application shall include the following information:
  - (i). Scaled site plan
  - (ii). Illustrations of proposed temporary signs
  - (iii). Proposed number of temporary signs
  - (iv). Proposed location of all proposed temporary signs
  - (v). Proposed schedule of installation and removal of temporary signs
  - (vi). Proposed maintenance plan for all temporary signs
- c. Applicants shall be required to submit the Promotional Sign Program application on an annual basis submitted no later January 31 of each year following adoption of this ordinance.
- d. Modifications or alterations to the approved Promotional Sign Program shall require review and approval of the Planning Department.
- e. All temporary signs permitted through the Promotional Sign Program shall be properly cleaned and maintained at all times. Temporary signs which are torn, faded, defaced or otherwise damaged shall be promptly removed, replaced or repaired.

### L. Seasonal or Holiday Displays

Seasonal or holiday displays shall be permitted for the specific plan area, subject to the following standards:

1. Seasonal or holiday displays may include painted window signs, twinkle or Christmas lights, light standard decorations, flags or other similar ornamentation approved by the director.
2. No seasonal or holiday display shall extend into the public right-of-way, adjacent properties or public street or alley.
3. No seasonal or holiday display shall obstruct visibility allowing for egress or ingress to the site.
4. Painted window signs used as seasonal or holiday displays shall not exceed the allowable square footage described in the permanent window sign section.

# Whittwood Town Center

## Sign Criteria

5. Seasonal or holiday displays and / or signs shall not be exhibited longer than 90 consecutive days.

### **NON-CONFORMING SIGNS**

#### A. Purpose and Intent.

The intent of this section is to recognize that the eventual removal of existing signs not in conformity with the newly established regulations is equally important to the goal of improving the aesthetic value of the community areas as is the regulation of new signs.

#### B. Definition

A non-conforming sign is a sign which has been lawfully established prior to the time of adoption of this chapter, and which does not:

1. Conform to the regulations contained within this chapter; or
2. Conform with a building permit or sign plan review approval issued prior to the effective date of the regulations contained within this chapter.

#### C. General Requirements

A non-conforming sign may be properly maintained in accordance with this chapter but shall not be:

1. Changed or altered unless such change or alteration conforms to the regulations contained within this chapter, (for example: refaced pole signs shall comply with freestanding sign regulations and refaced roof signs shall comply with projecting sign regulations);
2. Improved or structurally altered so as to extend its useful life;
3. Expanded;
4. Re-established after discontinuance or abandonment of the tenant or business owner for 90 days or more;
5. Moved or relocated;
6. Re-established after damage or destruction of more than 50% of the sign value at the time of such damage or destruction.

#### D. Illegal Signs

1. Signs constructed, erected, painted, relocated, enlarged, altered or otherwise modified without benefit of a building permit are considered illegal and subject to removal.
2. Tenant and landlord shall be responsible for removing illegal signs within 30 days from the date of City notification.

#### E. Abandoned Signs

1. Abandoned signs shall include all sign categories and shall be considered those signs for which a tenant or business owner no longer occupies the site upon which the sign is located.
2. Tenant and landlord shall be responsible for removing abandoned signs within 30 days of departure of the tenant space or business location.
3. Tenant and landlord shall be responsible for removing abandoned signs within 30 days from the date of City notification.

### **MAJOR TENANTS:**

A: Signs on Primary Facade: Two (2) square feet of sign area per one (1) lineal foot of building frontage, not to exceed 75% of horizontal length of facade. Each Major Tenant is allowed one (1) sign per business or one (1) sign per business public entrance per primary facade that the business fronts on.

B: Signs on Secondary or Tertiary Facades: Each tenant with a secondary or tertiary facade which exceeds 25 lineal feet is allowed on one (1) secondary or tertiary facade sign per business or one (1) sign per business public entrance on one secondary or tertiary facade up to 50% the allowable size of the primary facade sign. (see pg 27)

### **FOODCOURT TENANT:**

A: Signs on Primary Facade: Two (2) square feet of sign area per one (1) lineal foot of storefront, not to exceed 75% of horizontal length of facade. Each Foodcourt Tenant is allowed one (1) sign per

# Whittwood Town Center

## Sign Criteria

business or one (1) sign per business public entrance per primary facade that the business fronts on, not to exceed 50 square feet.

B: Signs on Secondary or Tertiary Facades: Each tenant with a secondary or tertiary facade which exceeds 25 linear feet is allowed on one (1) secondary or tertiary facade sign per business or one (1) sign per business public entrance on one secondary or tertiary facade up to 50% the allowable size of the primary facade sign. (see pg 28)

### UNDER CANOPY SIGNS (Optional):

A: Each Tenant is allowed one (1) under canopy sign, not to exceed 20 square feet per sign.

### PAD BUILDING TENANT:

A: Signs on Primary Facade: Two (2) square feet of sign area per one (1) lineal foot of building frontage, not to exceed 75% of horizontal length of facade. Each Pad Building Tenant is allowed one (1) sign per business or one (1) sign per business public entrance per primary facade that the business fronts on.

B: Signs on Secondary or Tertiary Facades: Each tenant with a secondary or tertiary facade which exceeds 25 linear feet is allowed on one (1) secondary or tertiary facade sign per business or one (1) sign per business public entrance on one secondary or tertiary facade up to 50% the allowable size of the primary facade sign.

C: Pad / Drive-Thru Restaurant and Other Restaurant: Drive-thru restaurant and other restaurant pads are permitted to have approved illuminated menu boards, directional signs, speaker pedestals, take-out window signs, and other minor identification signs, max. 30 s.f. per sign.

### RETAIL SHOP TENANTS:

A: Signs on Primary Facade: Two (2) square feet of sign area per one (1) lineal foot of storefront, not to exceed 75% of horizontal length of facade. Each Retail Shop Tenant is allowed one (1) sign

per business or one (1) sign per business public entrance per primary facade that the business fronts on, not to exceed 50 square feet.

B: Signs on Secondary or Tertiary Facades: Each tenant with a secondary or tertiary facade which exceeds 25 linear feet is allowed on one (1) secondary or tertiary facade sign per business or one (1) sign per business public entrance on one secondary or tertiary facade up to 50% the allowable size of the primary facade sign. (see pg 29)

### FABRICATION & INSTALLATION

A. It is intended that all finished work be of the highest quality to pass eye-level examination and scrutiny by the Landlord and Designer.

#### B. General Fabrication Specifications

- Construct all work to eliminate burrs, dents, cutting edges, and sharp corners.
- Finish welds on exposed surfaces to be imperceptible in the finished work.
- Surfaces which are intended to be flat shall be without dents, bulges, oil canning, gaps, or other physical deformities.
- Except where approved otherwise by Landlord and Designer, conceal all fasteners.
- Make access panels tight-fitting, lightproof, and flush with adjacent surfaces.
- Carefully follow manufacturer's recommended fabricating procedures regarding expansion/ contraction, fastening, and restraining of acrylic plastic.
- Exercise care to assure that painted, polished, and plated surfaces are unblemished in the finished work.

#### C. Suggested Sign Construction

The following construction methods are permitted, other conditions are subject to approval:

Type 1: Dimensional letters applied to storefront with indirect illumination by fixture.

Type 2 Reverse channel letters with halo illumination.

# Whittwood Town Center

## Sign Criteria

Type 3: Recessed or incised letters with edge or perimeter lighting.

Type 4: Face illuminated decorative ceramic tile or cast metal sign.

Type 5: Letters thru-cut in metal sheet with indirect illumination by fixture.

Type 6: Freestanding trellis mounted letters with or without illumination.

Type 7: Architectural metalwork panel with applied tenant letters.

### D. Non- Permitted Sign Construction

The following construction methods are not permitted:

- Letters with exposed fastenings and unfinished edges
- Paper, cardboard, styrofoam, cloth, stickers, & decals
- Signs employing flashing, flickering, rotating or moving lights
- Signs painted directly on the storefront sign band/fascia

### SIGN LIGHTING

A. Sign luminosity of signs adjacent to residential property shall not be allowed to spill over or illuminate on to adjacent property.

B. All sign elements must be internally and/or externally illuminated. Hot spots and light leaks are not permitted and must be repaired by the Tenant. All illuminated signs shall be fabricated, installed, and comply with national/local building and electrical codes and shall bear the U.L. label. All signs must conceal all identification labels and U.L. labels to conform to U.L. Codes. All conductors, transformers, cabinets, housings, and other equipment shall be concealed and/or incorporated into storefront and/or sign components.

C. To protect the visual environment, all Tenant's light fixtures in regards to brightness and glare shall be subject to approval.

D. Tenant's primary sign, secondary sign (if applicable), canopy and blade sign shall remain illuminated after hours as designated by the Landlord. Lighting in this zone is required to be circuited and switched separately from other store fixtures on the Tenant's panel

and controlled by a time-clock. Tenant shall provide a disconnect switch at sign transformer or near electrical junction box.

### TENANT ADDRESS / SUITE IDENTIFICATION

A. All Tenant entry & service doors will have standard identification (i.e. Tenant's name and number) designed and installed by Landlord at Tenant's expense.

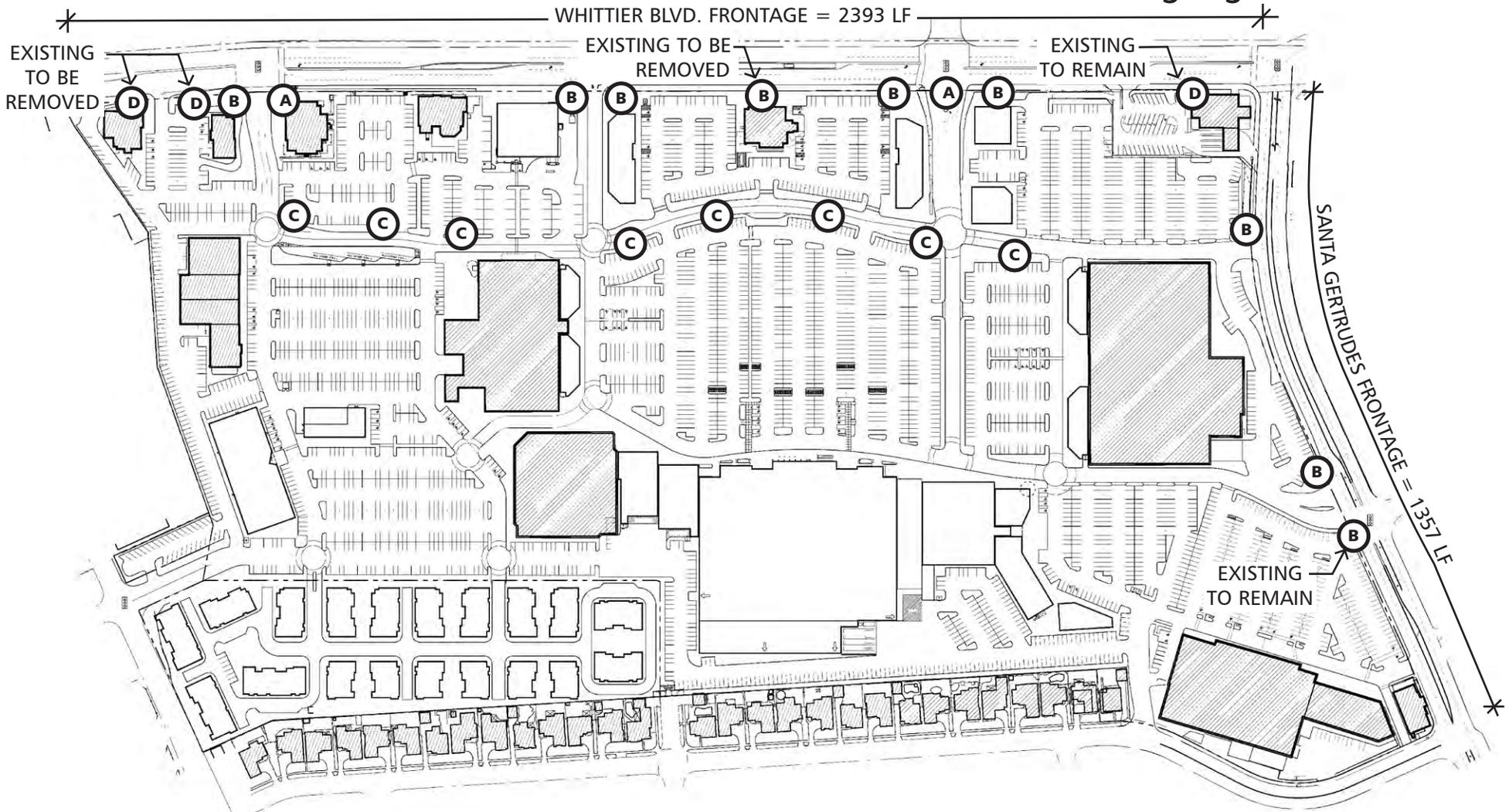
B. Postal numbers shall be installed on each storefront. Location, size, style and application will be standard throughout and will be specified and installed by Landlord at Tenant's expense.

### TENANT SIGNAGE SUBMISSION

A. The Tenant shall coordinate their signage package with the Landlord, the Landlord's Graphic Designer and Architect prior to submission and approvals. Each Tenant shall be required to provide preliminary design and shop drawing submittals as outlined in Tenant Submission Requirements. Landlord approval must be obtained prior to submission to governing agencies. All signs, including banners, require city reviews, approval and permit. Prior to installation.

# Whittwood Town Center

## Signage Location Plan

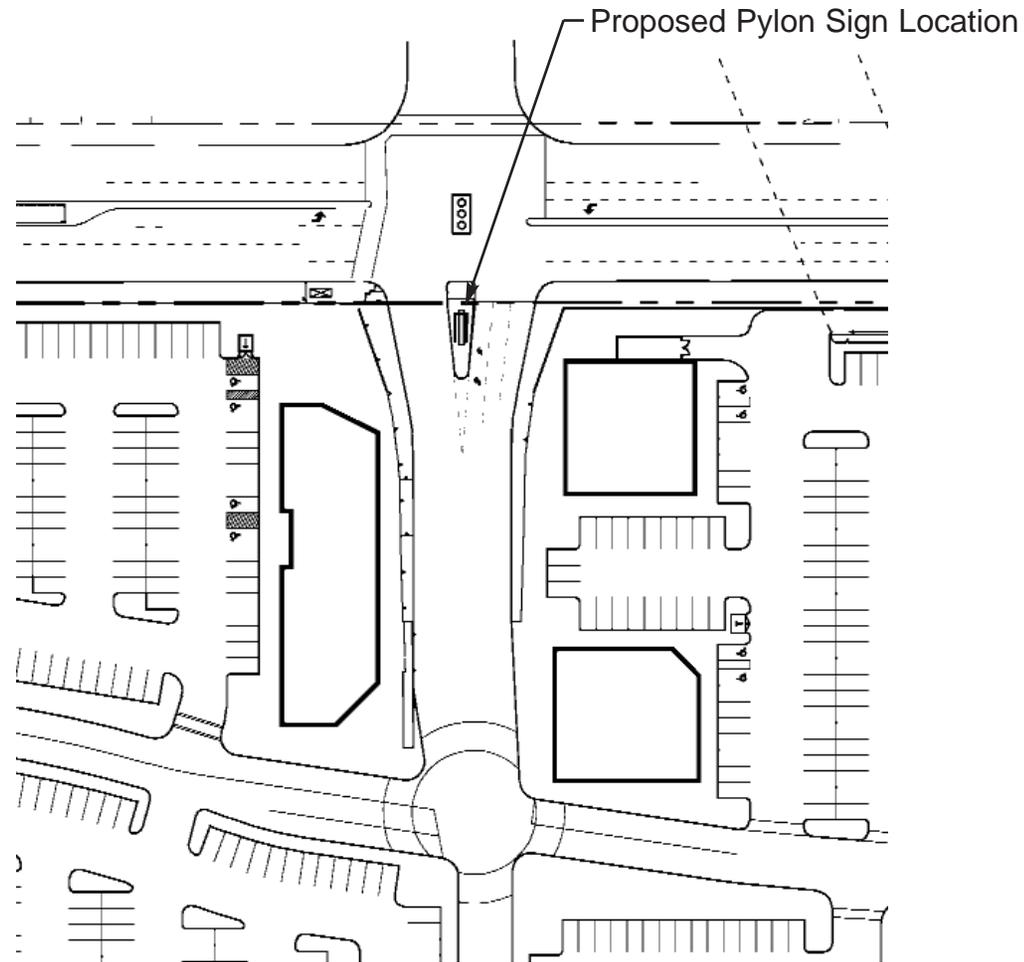


- (A) Pylon Signs
- (B) Monument Signs
- (C) Environmental Graphic Sign
- (D) Pole Sign



# Whittwood Town Center

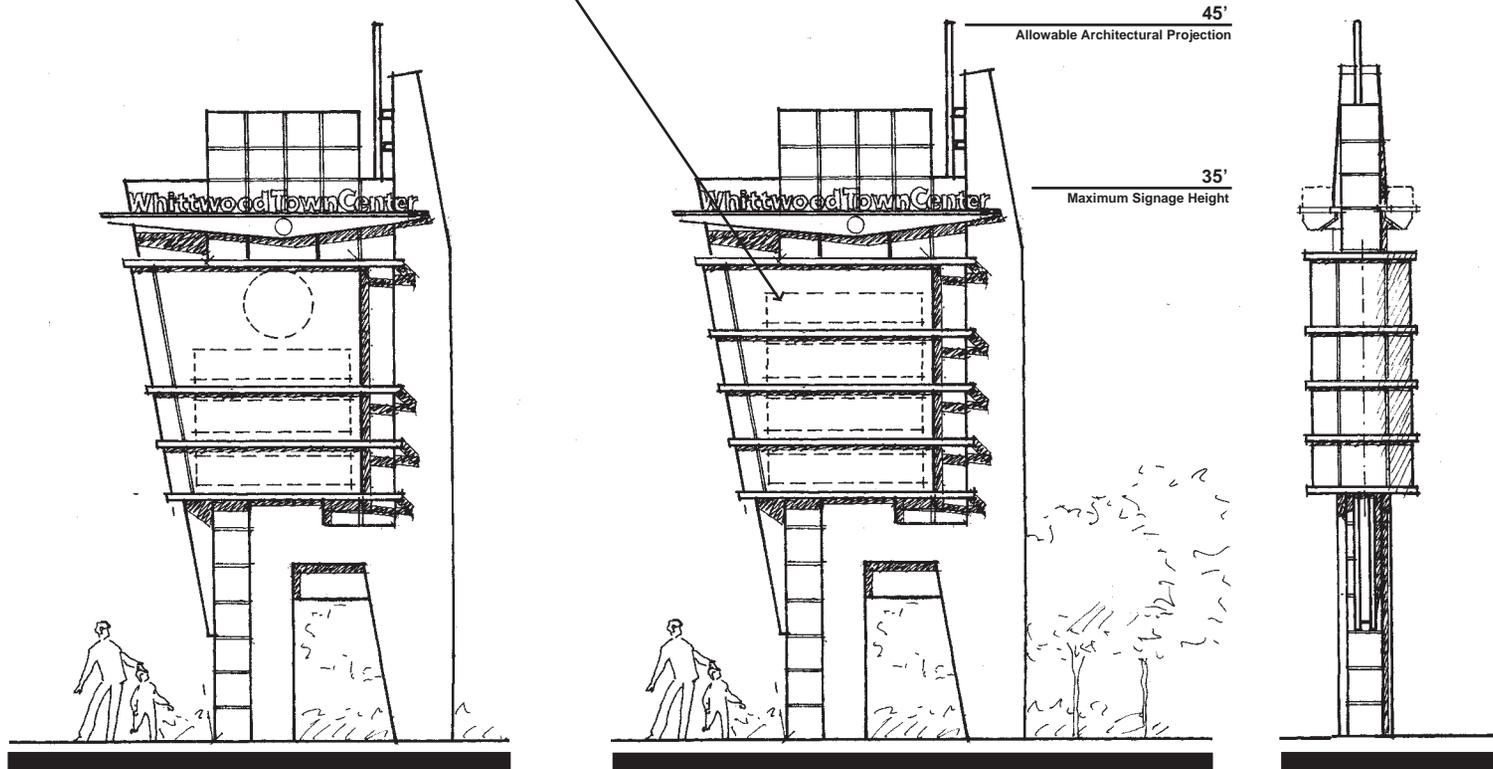
## (A) Pylon Signs



# Whittwood Town Center

## Ⓐ Pylon Signs

SIGNAGE TO BE INTERNALLY ILLUMINATED INDIVIDUAL CHANNEL LETTERS, TYP.



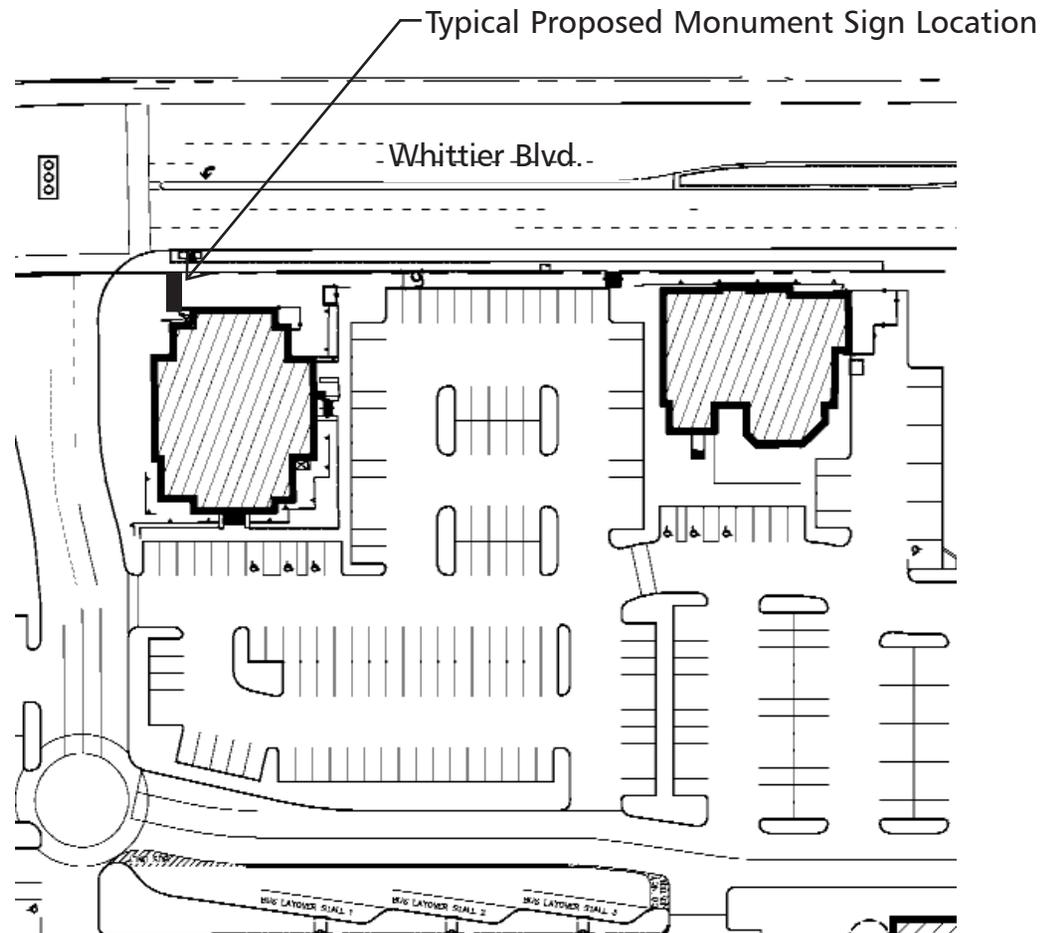
**PYLON FRONT ELEVATION  
WITH 3 TENANT SIGNS**

**PYLON FRONT ELEVATION  
WITH 4 TENANT SIGNS**

**SIDE ELEVATION**

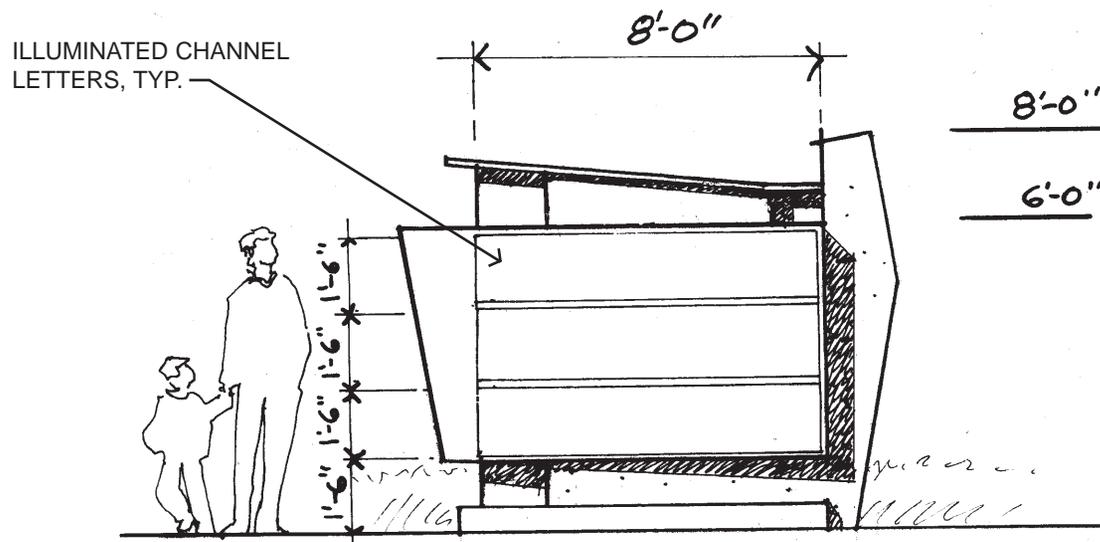
# Whittwood Town Center

## **B** Double Faced- Illuminated Monument Sign

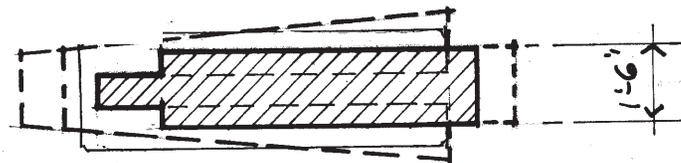


# Whittwood Town Center

## (B) Double Faced- Illuminated Monument Sign



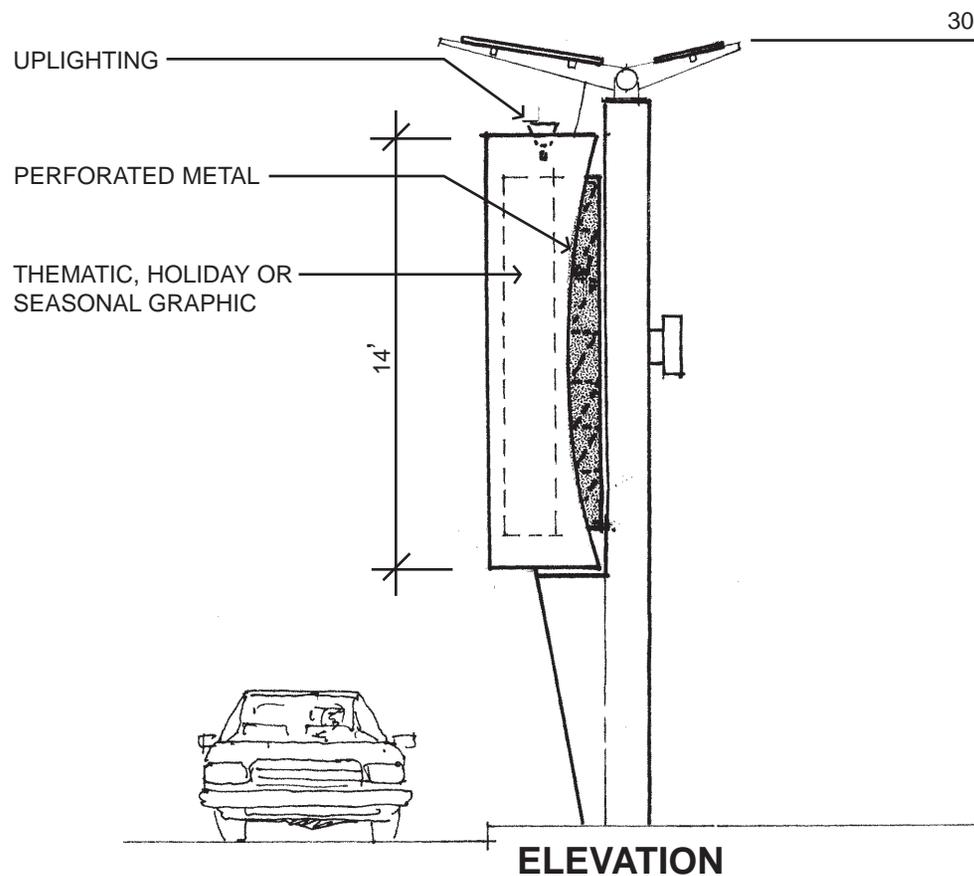
ELEVATION



PLAN

# Whittwood Town Center

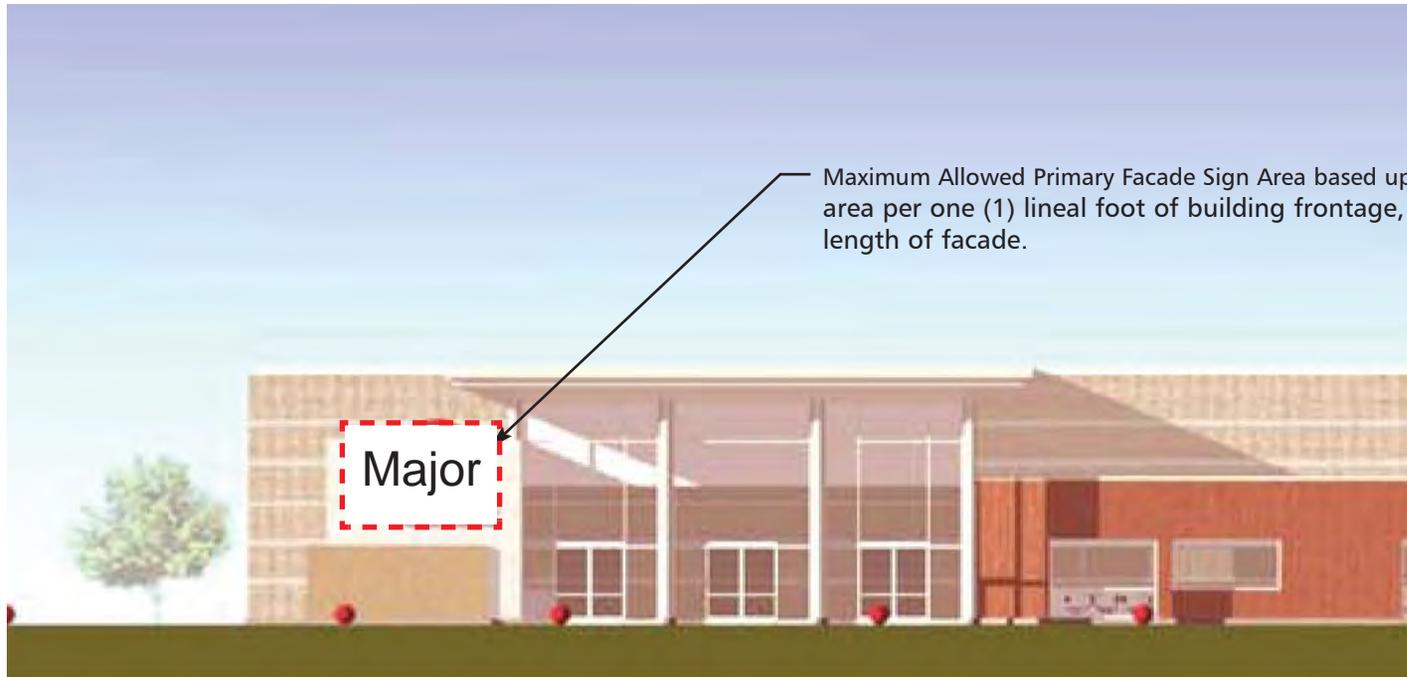
© Environmental Graphic



Environmental Graphic: is a thematic element within the property used to reinforce the architectural theme of the district. Signage graphics are restricted to thematic, holiday, or seasonal graphics. Individual tenant or product advertisement or signage is prohibited on environmental graphic signs. Environmental graphic signs are exempt from being included in sign area calculations.

# Whittwood Town Center

## Major Tenant Sign



Maximum Allowed Primary Facade Sign Area based upon: Two (2) square feet of sign area per one (1) lineal foot of building frontage, not to exceed 75% of horizontal length of facade.

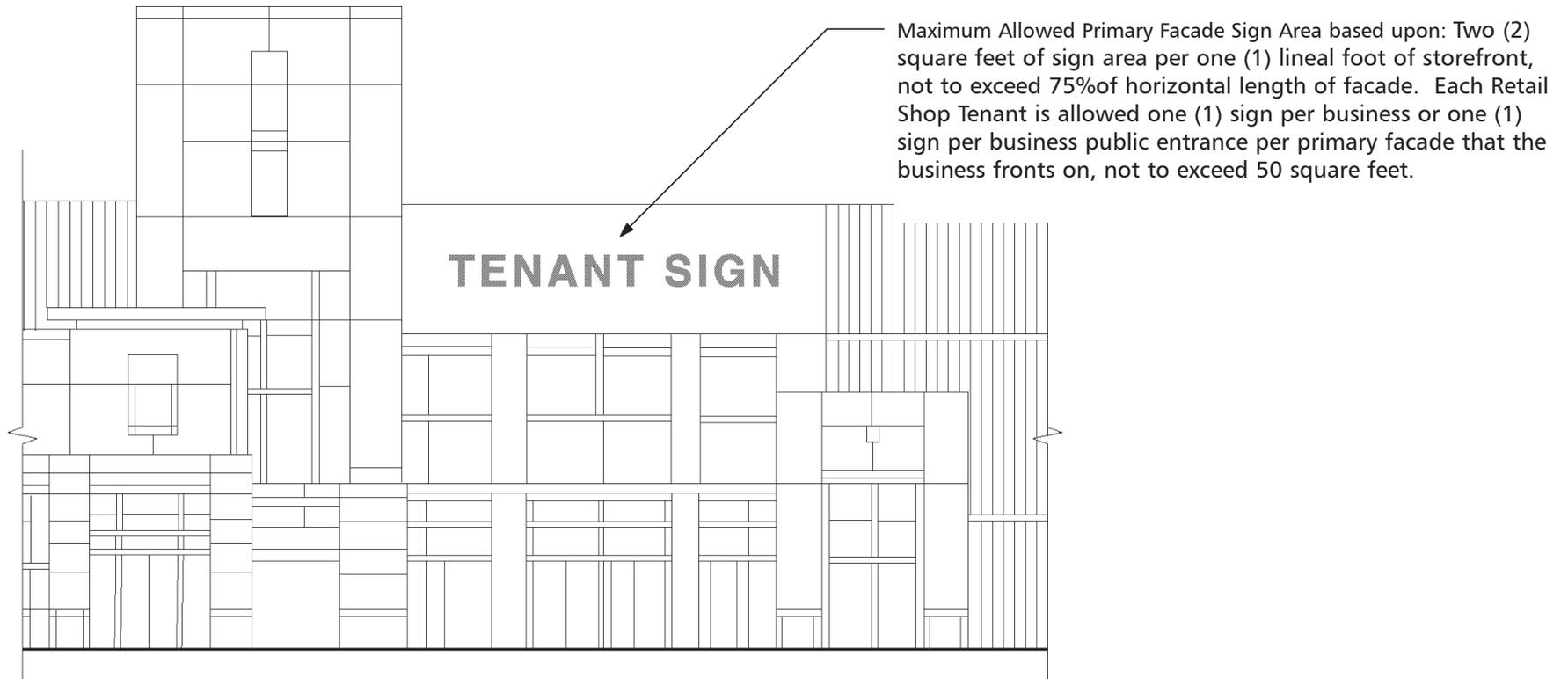
### Major Tenants

A: Signs on Primary Facade: Two (2) square feet of sign area per one (1) lineal foot of building frontage, not to exceed 75% of horizontal length of facade. Each Major Tenant is allowed one (1) sign per business or one (1) sign per business public entrance per primary facade that the business fronts on.

B: Signs on Secondary or Tertiary Facades: Each tenant with a secondary or tertiary facade which exceeds 25 linear feet is allowed on one (1) secondary facade or tertiary sign per business or one (1) sign per business public entrance on one secondary or tertiary facade up to 50% the allowable size of the primary facade sign.

# Whittwood Town Center

## Retail Shop Tenant Sign



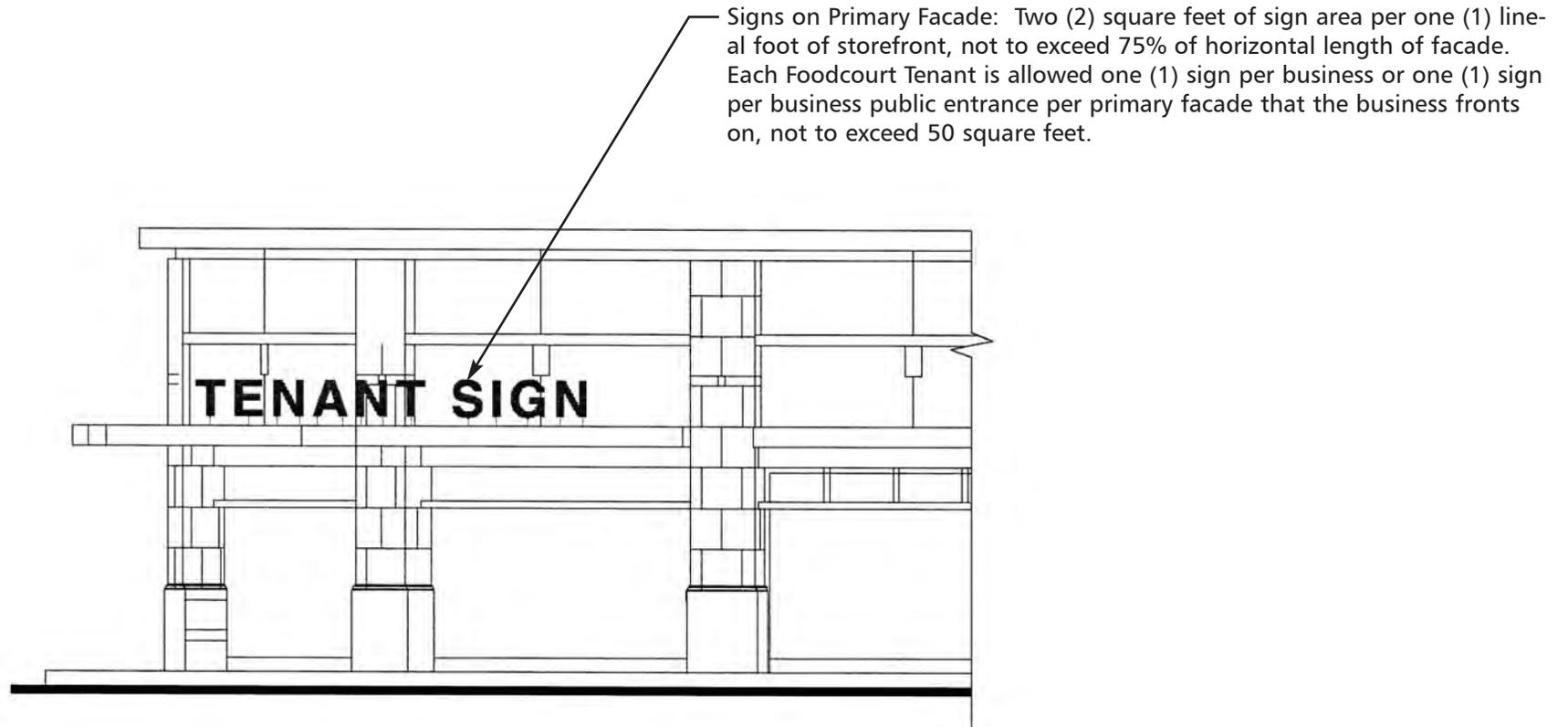
### **RETAIL SHOP TENANTS:**

A: Signs on Primary Facade: Two (2) square feet of sign area per one (1) lineal foot of storefront, not to exceed 75% of horizontal length of facade. Each Retail Shop Tenant is allowed one (1) sign per business or one (1) sign per business public entrance per primary facade that the business fronts on, not to exceed 50 square feet.

B: Signs on Secondary or Tertiary Facades: Each tenant with a secondary or tertiary facade which exceeds 25 linear feet is allowed on one (1) secondary facade or tertiary sign per business or one (1) sign per business public entrance on one secondary or tertiary facade up to 50% the allowable size of the primary facade sign.

# Whittwood Town Center

## Food Court Tenant Sign



### **FOODCOURT TENANT SIGN:**

A: Signs on Primary Facade: Two (2) square feet of sign area per one (1) lineal foot of storefront, not to exceed 75% of horizontal length of facade, Each Foodcourt Tenant is allowed one (1) sign per business or one (1) sign per business public entrance per primary facade that the business fronts on, not to exceed 50 square feet.

B: Signs on Secondary or Tertiary Facades: Each tenant with a secondary or tertiary facade which exceeds 25 linear feet is allowed on one (1) secondary facade or tertiary sign per business or one (1) sign per business public entrance on one secondary or tertiary facade up to 50% the allowable size of the primary facade sign.

# Whittwood Town Center

## Allowable Area Calculator

### Method of Sign Area Calculation:

The area included within the outer dimensions of the sign face containing lettering, writing, representation or logo, forming an integral part of the display and measured in square feet. Support structures for freestanding signs shall not be included in the sign area except when designed in a manner to further display text or lettering pertaining to the subject business. For wall or projecting signs that do not contain a clear and/or rectangular border, the area shall be computed on the basis of enclosing the entire sign within two sets of parallel lines.

